

From: [Harker, Patti](#)
To: [Marsh, Melanie](#)
Subject: RE: Walkabout Ranch Road access
Date: Tuesday, June 9, 2020 7:28:00 PM
Attachments: [MX-5070N 20200609 182428.pdf](#)

I find nothing in our records in the RW Office showing this as a Public Road. It is not on the county maintained road list. I looked at AK# 2731761, and it looks like a 70 ft. strip and according to the property appraisers records, it is owned by Tom West, Inc., the same as AK# 1597030 (seems to give access to this parcel from CR 437). I looked at one of the parcels lying South of and adjacent to this strip and it has a private easement for ingress/egress, 15 ft. wide along the North side of the parcel. This road looks like a private road to me. Hope this helps. Patti



PATTI HARKER, C.P.M., SR/WA

Right of Way Supervisor

DEPARTMENT OF PUBLIC WORKS

Engineering Division / Right of Way Section

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P 352-253-9067

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NOTE: Florida has a very broad public records law.

Your email communications may be subject to public disclosure.

From: Marsh, Melanie
Sent: Friday, June 5, 2020 10:06 AM
To: Harker, Patti <PHarker@lakecountyfl.gov>
Subject: FW: Walkabout Ranch Road access

Patti:

Can you confirm for me that Walkabout Ranch Road is not publicly dedicated?



MELANIE MARSH

County Attorney

COUNTY ATTORNEY'S OFFICE

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From: Williams, Kim <KWilliams@national.aaa.com>
Sent: Friday, June 5, 2020 10:04 AM
To: Marsh, Melanie <MMarsh@lakecountyfl.gov>
Subject: Walkabout Ranch Road access

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Hi Melanie,

We residents on Walkabout Ranch wonder if we have legal access to use the road that Mr. West built to haul from the pit. Is it an official easement? Property card below.

Assuming it's a topic in your future discussion with Mr. West's attorney but I want to understand. Thank you, Kim

General Information

Owner Name:	TOM WEST INC	Alternate Key:	2731761
Mailing Address:	PO BOX 250 OCOE, FL 34761-0250 Update Mailing Address	Parcel Number:	07-19-28-0004-000-00801
		Millage Group and City:	0006 (UNINCORPORATED)
		2019 Total Certified Millage Rate:	15.0425
		Trash/Recycling/Water/Info:	My Public Services Map
Property Location:	WALKABOUT RANCH RD SORRENTO FL 32776 Update Property Location	Property Name:	---
		School Information:	Submit Property Name School Locator & Bus Stop Map School Boundary Maps
Property Description:	BEG AT INTERSECTION OF ELY R/W LINE OF HWY 437 & S LINE OF SEC 7, RUN N 89DEG 26MIN 33SEC E 2508 52 FT TO SE COR OF SEC 7, CONT N 89DEG 26MIN 33SEC E 70 FT, N 0DEG 33MIN 27SEC W 70 FT, S 89DEG 26MIN 33SEC W 2577.21 FT TO ELY R/W OF HWY 437, S 00DEG 30MIN 53SEC W 70 FT TO POB ORB 831 PG 513		

NOTE: This property description is a condensed/abbreviated version of the original description as recorded on deeds or other legal instruments in the public records of the Lake County Clerk of Court. It may not include the Public Land Survey System's Section, Township, Range information or the county in which the property is located. It is intended to represent the land boundary only and does not include easements or other interests of record. This description should not be used for purposes of conveying property title. The Property Appraiser assumes no responsibility for the consequences of inappropriate uses or interpretations of the property description.

Land Data

Line	Land Use	Frontage	Depth	Notes	No. Units	Type	Class Value	Land Value
1	VACANT ACCESS LOT (0004)	0	0		1	LT	\$0.00	\$100.00

[Click here for Zoning Info](#) [FEMA Flood Map](#)

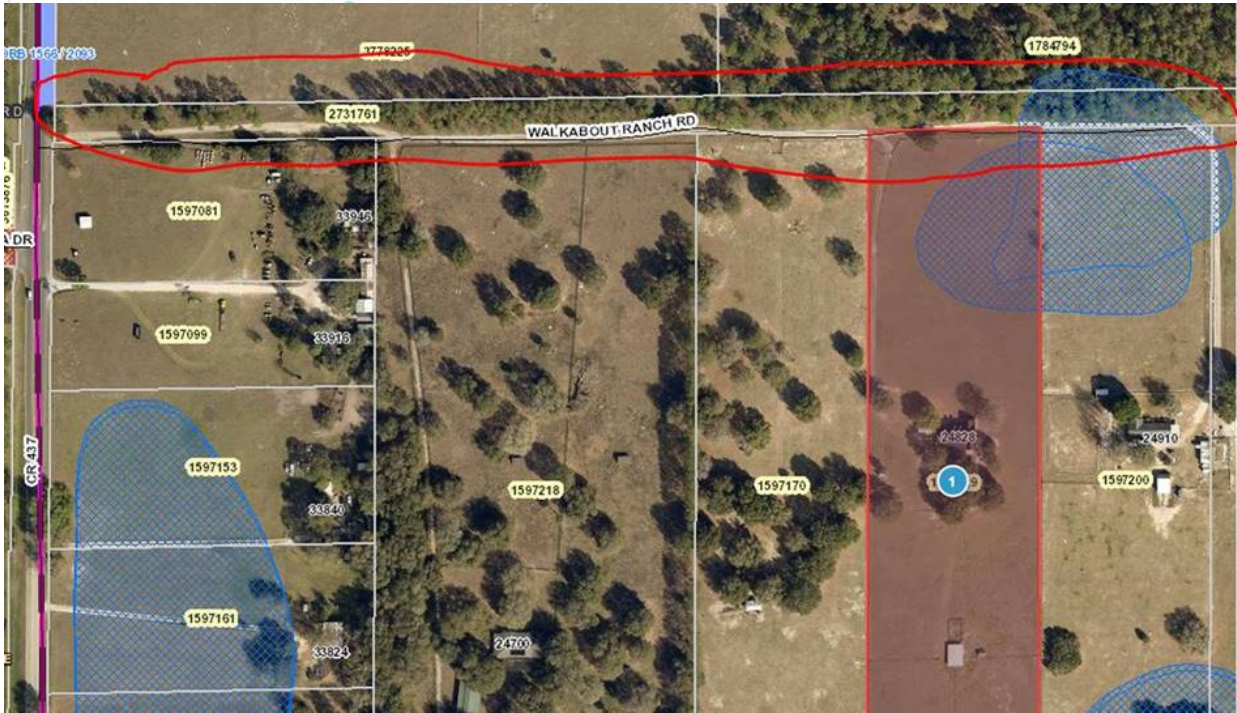
Miscellaneous Improvements

There is no improvement information to display.

Sales History

NOTE: This section is not intended to be a complete chain of title. Additional official book/page numbers may be listed in the property description above and/or recorded and indexed with the Clerk of Court. [Follow this link to search all documents by owner's name.](#)

Book/Page	Sale Date	Instrument	Qualified/Unqualified	Vacant/Improved	Sale Price
831 / 513	2/1/1985	Warranty Deed	Qualified	Vacant	\$12,000.00



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