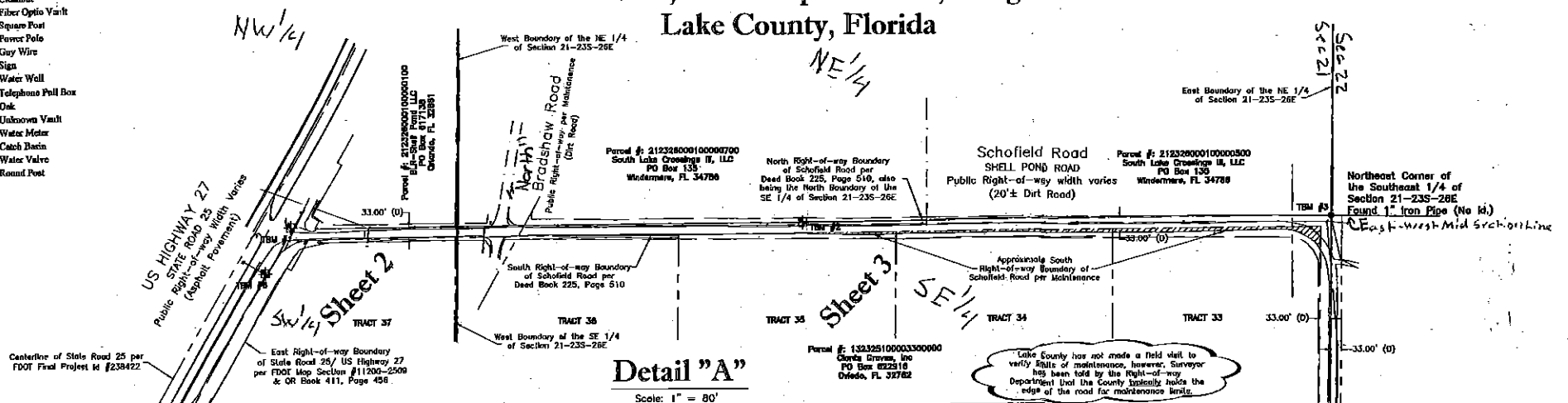
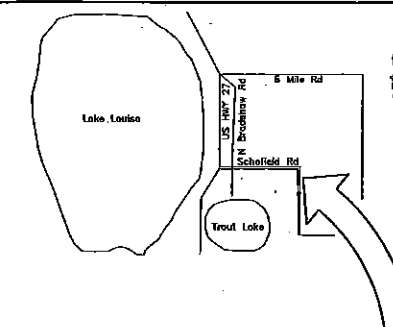


Legend & Abbreviations

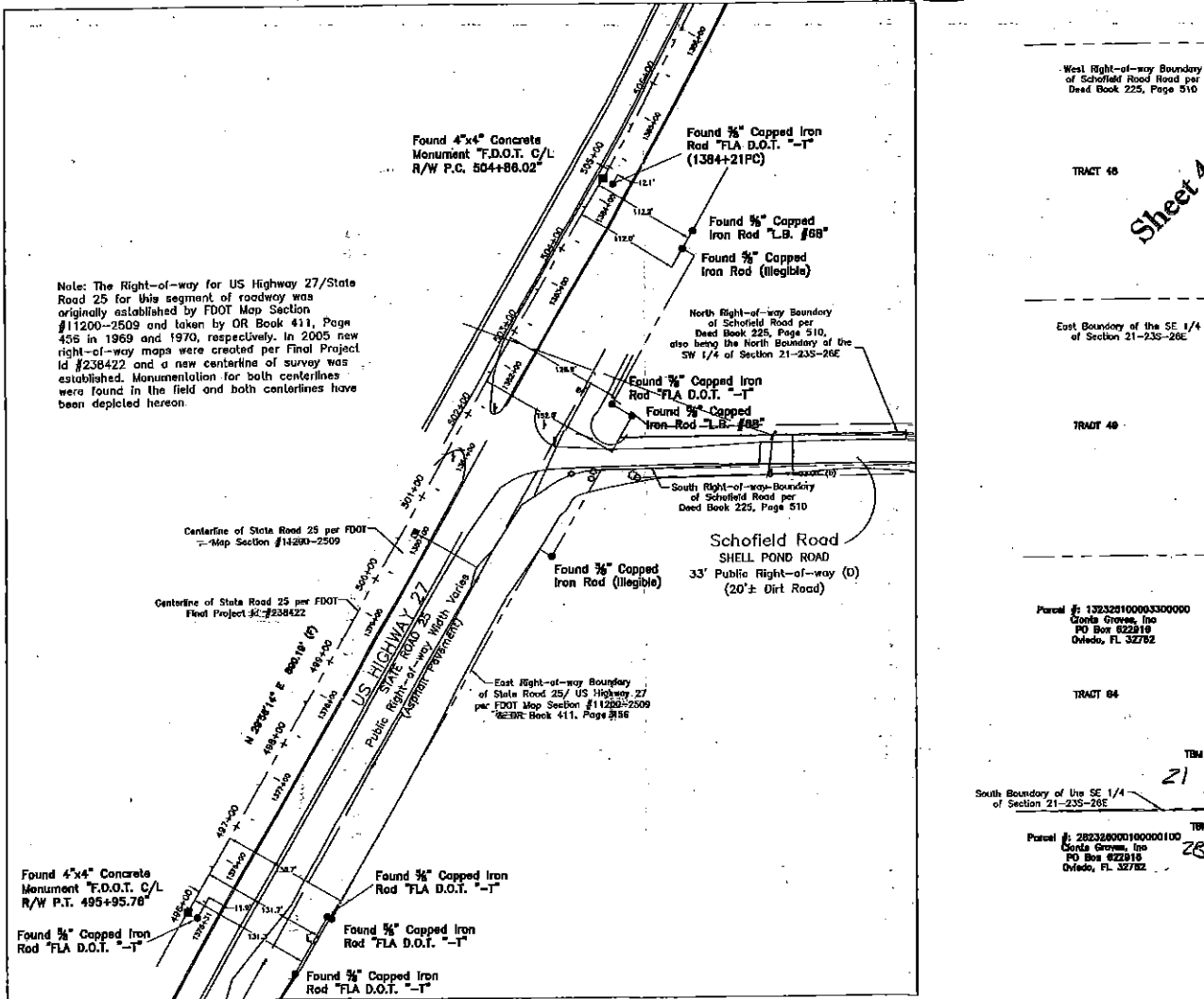
- Found Iron Rod or Pipe
- Found Concrete Monument
- Found P.K. Nail & Disk
- P.S.M. Professional Surveyor and Mapper
- F.D.O.T. Florida Department of Transportation
- M. Identification
- ⊕ Temporary Benchmark
- TBM Temporary Benchmark
- Spot Elevation
- Spot Elevation on Hard Surface
- (F) Field Measurement
- (D) Dead Reference
- (P) Pit Reference
- RCP Reinforced Concrete Pipe
- INVERT
- INVERT
- Unknown Manhole
- Backflow Preventer
- Cleanout
- Fiber Optic Vault
- Square Post
- Power Pole
- Guy Wire
- Sign
- Water Wall
- Telephone Pull Box
- Oak
- Unknown Vault
- Water Meter
- Catch Basin
- Water Valve
- Round Post

Route Survey
Sections 21 & 22, Township 23 South, Range 26 East
Lake County, Florida

Vicinity Map



Detail "A"
 Scale: 1" = 80'



Schofield Road Right-of-way Note

Surveytech believes that there are conflicts with the right-of-way width for Schofield Road and that the width of the right-of-way should be 33 feet and not 48 feet as depicted on the right-of-way maps per F.D.O.T. Project ID 238422. Surveytech has come to this conclusion based on the following:

First, Surveytech is fully confident that the said right-of-way maps depict the right-of-way as 48 feet wide because Deed Book 225, Page 510 calls for the East 33 feet of Tracts 33, 34, 35, and 36 as well as the north 33 feet of Tracts 33, 34, 35 and 36 of the Plat of Monte Vista Park Farms as recorded in Plat Book 2, Page 27. Said deed also calls for the north 33 feet of that part of Tract 37 lying east of US Highway 27. And that the Plat of Monte Vista Park Farms depicts a 15 foot strip along the North side of Tracts 33, 34, 35, 36 and 37 and along the east side of Tracts 33, 34, 35, 36, and 37. At first glance, said 15 foot wide strips appear to be public right-of-way. So, assuming that the Plat depicted 15 feet of right-of-way and assuming that the boundaries of said tracts abut said 15 foot wide strips, taking an additional 33 feet from the north and east of said Tracts per said Deed makes the right-of-way of Schofield Road 48 feet wide.

However, Surveytech believes that the boundaries of said Tracts actually extend to the section and quarter section lines adjacent thereto. The reason being are that said Plat specifically states that "the fee to the State or Road shown on this plat is hereby reserved to the record owners of the lands here in contained and their assigns and only an easement for the benefit of the public, and purchasers, for travel and necessary drainage of said roads, by reference to this plat is hereby granted". After reading this statement, Surveytech scolded the size of the lots and found that the width of Tracts 33 and 48 is less than the interior tracts 34 and 35. This and the above Plat statement lead the Surveyor to believe that the original intent of the Plat was for the 15 foot wide strip to be included in the easement of the tracts adjacent thereto, thereby, making the tracts equal in size.

Furthermore, with said Deed Book 225, Page 510 there is another paragraph that takes the "East 33 feet of Section 28, Township 23 South, Range 26 East". With said Section 28 lying directly south of said Plat of Monte Vista Park Farms, if the right-of-way was to be as said F.D.O.T. maps depict then there would be a jog in the right-of-way of the road where it transitions from said Plat to said Section 28. Surveytech does not believe that said Deed intended to create a jog in the right-of-way. Instead, it is Surveytech's belief that the originator of said Deed was under the same impression as Surveytech, to wit the 15 foot wide strips were owned by the owner's of the adjacent tracts and only an easement was dedicated across the 15 foot wide strip. Therefore, when said Deed takes 33 feet from the east and north of said tracts the 33 feet should be taken from the section and quarter section lines and not from the easement lines of the tracts as depicted on said Plat. In doing so, eliminates any jogs in the right-of-way and makes the width of the right-of-way 33 feet instead of the 48 feet as depicted on said F.D.O.T. maps.

Benchmark Information: NAVD 1988

TBM #1	Northing = 1504501.15 Easting = 425840.80 Elevation = 114.70' Set 3" capped iron rod "Survey Tech Plat" at the Northeast Intersection of US Highway 27 & Schofield Road.
TBM #2	Northing = 1504507.44 Easting = 427398.26 Elevation = 140.88' Set 3" capped iron rod "Survey Tech Plat" 1600'± East of the intersection of US Highway 27 & Schofield Road.
TBM #3	Northing = 1504322.02 Easting = 42084.76 Elevation = 128.81' Found 1" iron pipe (no id.) 3200'± East at the intersection of US Highway 27 & Schofield Road, also being the East 1/4 corner of Section 21-235-28E.
TBM #4	Elevation = 141.72' Set box cut in concrete slab located on West side of Schofield Road near Southern limits of survey.
TBM #5	Northing = 1501814.98 Easting = 42394.08 Elevation = 138.93' Found SURVIMD disk stamped "00-12-002-0" on concrete slab located on West side of Schofield Road near Southern limits of survey.
TBM #6	Northing = 1504363.44 Easting = 425763.58 Elevation = 115.20' Found SURVIMD disk stamped "00-12-001-0" on masonry headwall 144'± Southwest of the intersection of US Highway 27 & Schofield Road.

Certifications:
 C.S.E.T., USA
 Kirby Korn & Associates

Flood Zone Information:
 Subject property is located in Flood Zone "X" according to: Flood Insurance Rate Map: 12069C
 Panel No.: 0650 D
 Community Name/No.: Lake County/120421
 Effective Date: July 05, 2002.

- Surveyor's Notes**
- Not valid without the signature and original raised seal of a Florida Licensed Surveyor and Mapper.
 - The bearing structure for this survey is based on a Florida East State Plane grid bearing of N 29°56'14" E for the centerline of US Highway 27/State Road 25 per FDOT Final Project ID #238422.
 - The vertical datum utilized for this project is NAVD 1988, U.S. Survey Feet. The benchmark utilized was St. Johns River Water Management District Benchmark "00-12-001-0" with an elevation of 115.20 feet.
 - No underground foundations or features were excavated or located for this survey.
 - Surveyor makes no guarantee as to the species of trees or to the health of each tree depicted hereon. If this information is necessary a certified arborist should be contacted.
 - Utilities depicted hereon are from visible evidence as well as markings obtained from Florida Sunshine One Call, reference to Ticket Numbers 22326327, 22326321, 223263495 & 223263703.
 - THIS IS NOT A BOUNDARY SURVEY.

Not Valid Without the Signature And The Original Raised Seal Of A Florida Licensed Surveyor And Mapper

SYMBOL	DATE	INITIALS

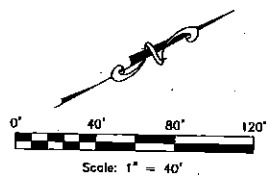
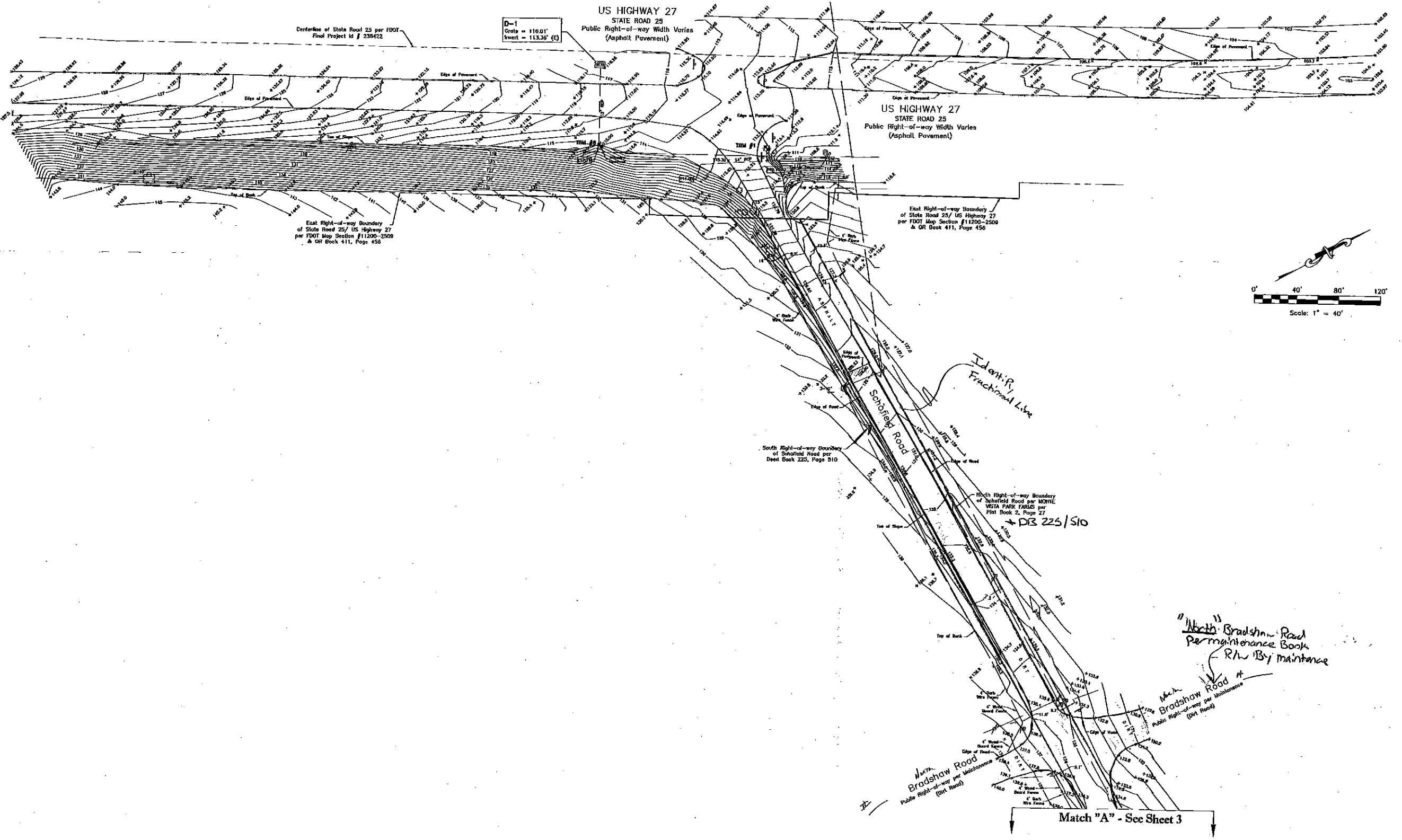
SURVEYING TODAY WITH TOMORROW'S TECHNOLOGY

Drafted By: B. Stinson
 Date Drafted: 8/28/12
 Approved By: S. Brown
 Date Approved: 9/04/12
 Field Date: 8/24/12

Phase: 2
 Revision Date:
 Drawing Name: 20110166_2R
 Scale: 1" = 200'
 Field Book/Page: 12-1150

SURVTECH SOLUTIONS, INC.
 10220 U.S. Highway 92 East
 Tampa, FL 33616
 phone: (813)-921-1929
 fax: (813)-621-7194
 Licensed Business #7340
 email: sbrown@survtechsolutions.com
 http://www.survtechsolutions.com

Topographic Detail Sheet



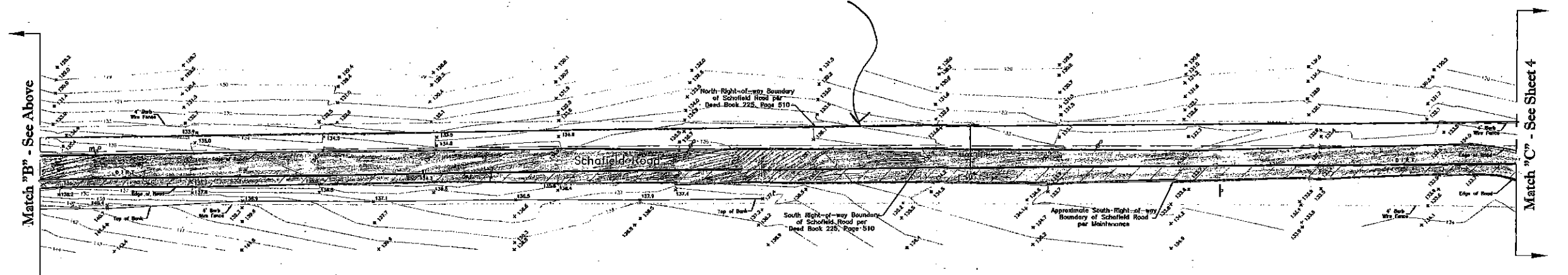
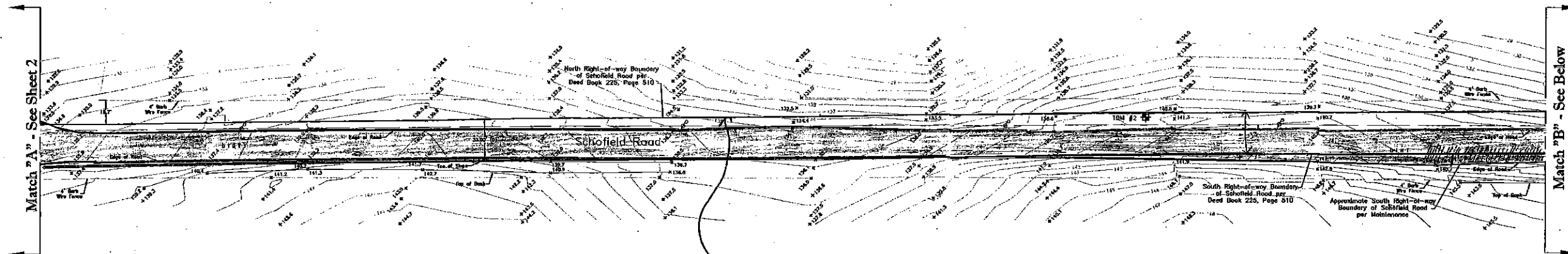
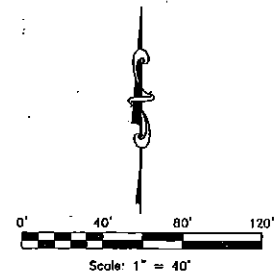
Route Survey
 PREPARED FOR:
CEMEX, USA

SURVTECH SOLUTIONS, INC.
 10220 U.S. Highway 92 East
 Tampa, FL 33610
 Licensed Business #7340

phone: (813)-621-4929
 fax: (813)-621-7194
 email: sales@survtechsolutions.com
 http://www.survtechsolutions.com

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Topographic Detail Sheet

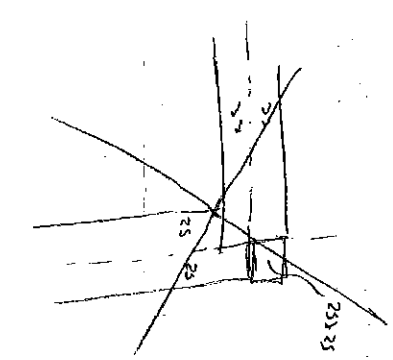
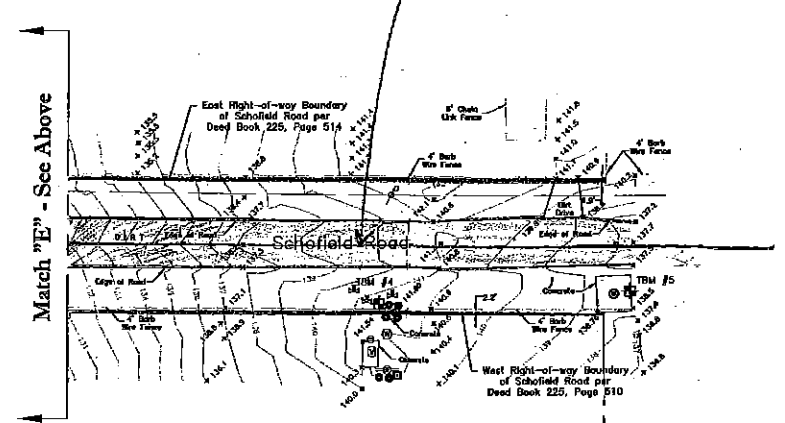
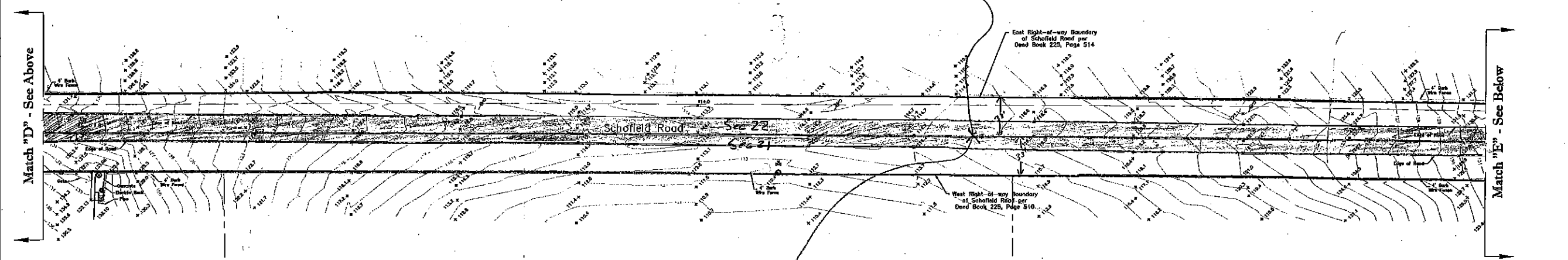
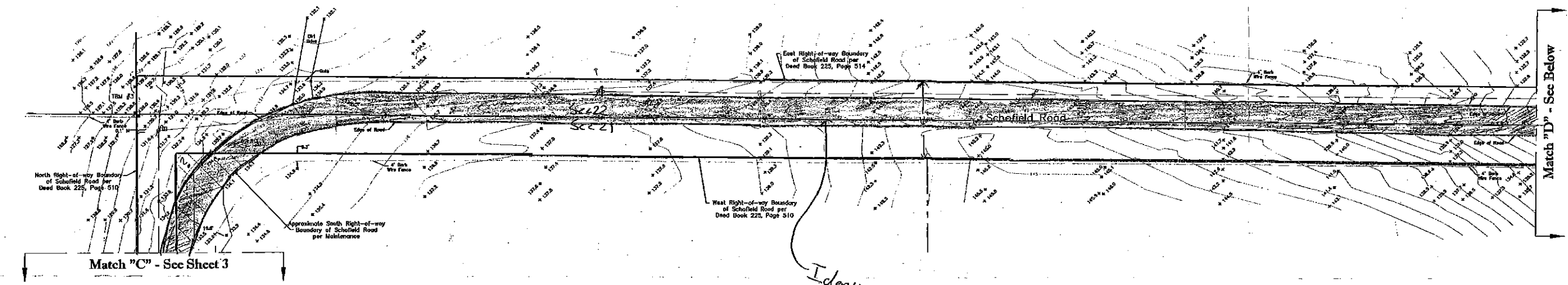
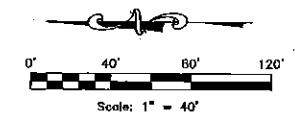


Identical Fractional Line

Route Survey
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SURVTECH SOLUTIONS, INC.
10220 U.S. Highway 92 East
Tampa, FL 33610
Limited Business #7340
phone: (813)-921-4929
fax: (813)-921-7154
email: alsurvey@survtechsolutions.com
<http://www.survtechsolutions.com>

Topographic Detail Sheet



Route Survey
PREPARED FOR:
CRMEX, USA

SURVTECH SOLUTIONS, INC.
10220 U.S. Highway 92 East
Tampa, FL 33610
Licenses: Business #7340
phone: (813)-621-4029
fax: (813)-621-7184
email: survey@survtechsolutions.com
<http://www.survtechsolutions.com>