

EASTSIDE VETERINARY HOSPITAL CIVIL ENGINEERING PLANS

PROJECT TEAM

OWNER/DEVELOPER

ANDOC LLC.
WILLIAM GEILER
731 E HIGHWAY 50
CLERMONT, FLORIDA 34711
(352) 394-6624

SURVEYOR

RHODEN LAND SURVEYING, INC.
JEFF RHODEN, P.L.S.
420 E MINNEHAHA AVENUE
CLERMONT, FLORIDA 34711
(352) 394-6255

CIVIL ENGINEER

GERMANA ENGINEERING AND ASSOCIATES, LLC.
CHRISTOPHER M GERMANA, P.E.
1120 W. MINNEOLA AVENUE
CLERMONT, FLORIDA 34711
(352) 242-9329

ARCHITECT

POWELL STUDIO ARCHITECTURE
JEFF POWELL
1318 BOWMAN STREET
CLERMONT, FLORIDA 34711
(352) 874-2340

UTILITY CONTACT LIST

ELECTRIC

DUKE ENERGY.
P.O. BOX 120069
CLERMONT, FLORIDA 34712
(352) 241-7335

NATURAL GAS

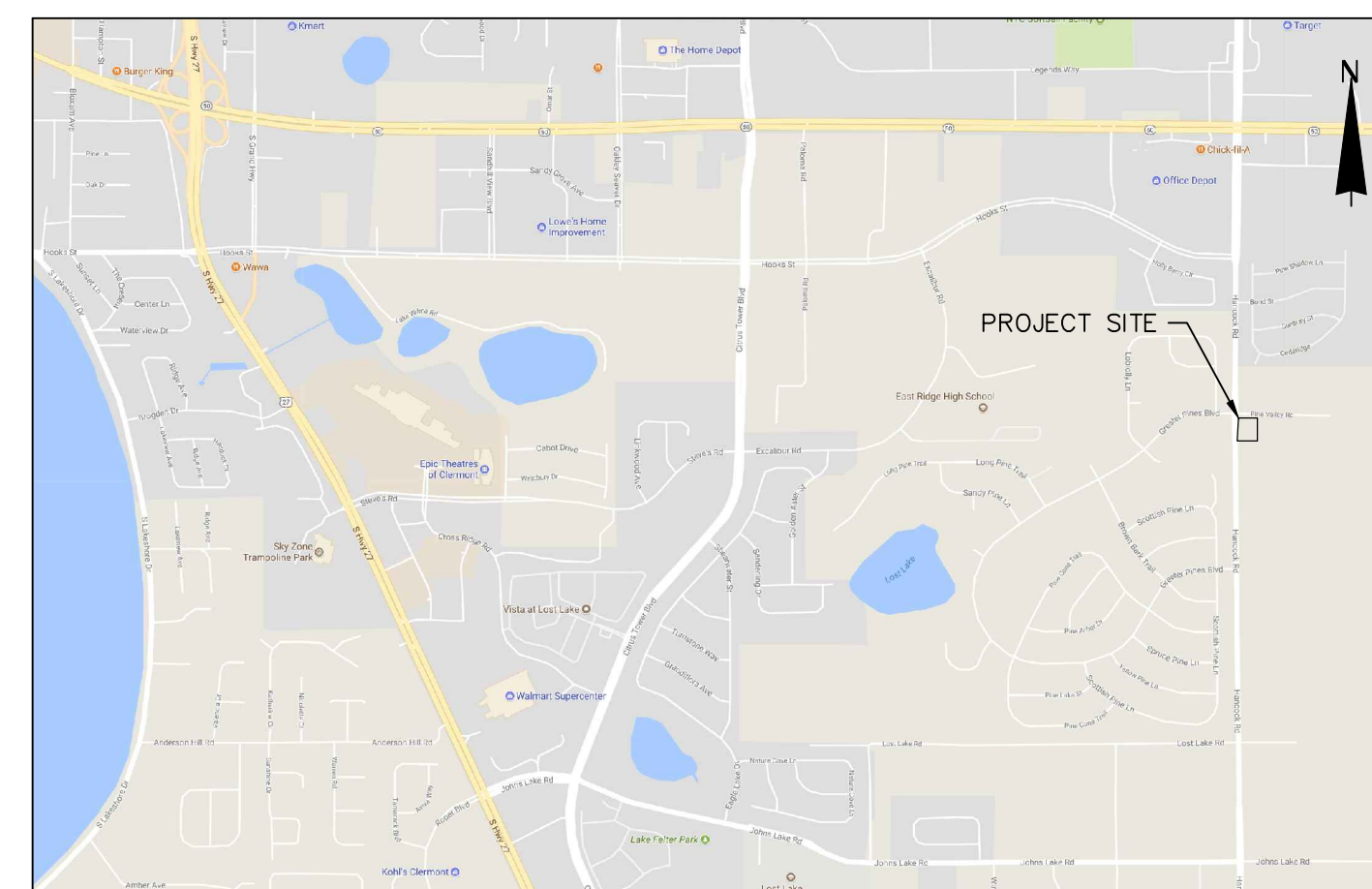
LAKE APOPKA NATURAL GAS DISTRICT
675 W MONTROSE STREET
CLERMONT, FLORIDA 34711
(352) 357-5600

WATER AND SEWER

CITY OF CLERMONT
1120 W. MONTROSE STREET
CLERMONT, FLORIDA 34711
(352) 241-7335

TELEPHONE

CENTURY LINK
260 CITRUS TOWER BLVD
CLERMONT, FLORIDA 34711
(800) 672-6240



VICINITY MAP

SCALE: NTS
SOURCE: GOOGLE MAPS

15016 PINE VALLEY BLVD
CLERMONT, FLORIDA 34711
SECTION 27, TOWNSHIP 22 SOUTH, RANGE 26 EAST

SHEET # DESCRIPTION

SHEET #	DESCRIPTION
C1	COVER SHEET
C2	GENERAL NOTES – CITY OF CLERMONT
C3	GENERAL NOTES – CITY OF CLERMONT
C4	SITE PLAN
C5	GRADING PLAN
C6	UTILITY PLAN
C7	EROSION CONTROL PLAN
C8	CONSTRUCTION DETAILS
C9	CONSTRUCTION DETAILS
C10	CONSTRUCTION DETAILS – CITY OF CLERMONT

SITE NOTES

LEGAL DESCRIPTION:

LOTS 8 AND 9, PINE VALLEY INDUSTRIAL PARK, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 29, PAGE 70, PUBLIC RECORDS OF LAKE COUNTY, FLORIDA.

DATUM NOTE:

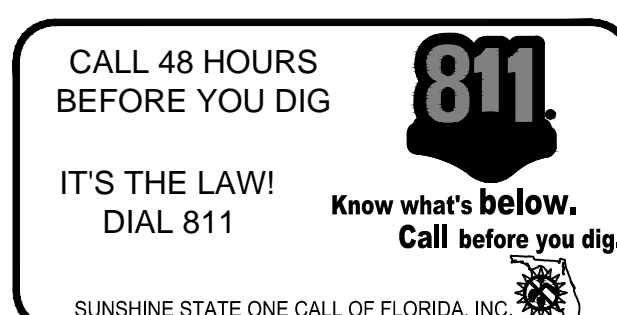
ELEVATIONS ARE BASED ON 1988 DATUM

BENCHMARKS: (BY RHODEN LAND SURVEYING, INC.)

BENCHMARK #1 – 1/2" IRON ROD & CAP MARKED "PSM 5322" ELEVATION 135.40 (NAVD 88)
BENCHMARK #2 – 1/2" IRON ROD & CAP MARKED "LB 220" ELEVATION 135.00 (NAVD 88)

NOTES:

- THE PLANS WERE PREPARED ACCORDING TO AVAILABLE INFORMATION BASED ON THE CONDITIONS AS THEY EXISTED AT THE TIME OF PLAN PREPARATION. THE CONDITIONS OF THE PROPERTY MAY HAVE CHANGED SINCE PROJECT DESIGN. THE CONTRACTOR SHALL VERIFY AND CONFIRM ALL EXISTING CONDITIONS AND SHALL CONTACT THE PROJECT ENGINEER IMMEDIATELY IF CONDITIONS HAVE CHANGED FROM WHEN THE PLANS WERE PREPARED.
- THE SITE SHALL COMPLY WITH THE FLORIDA BUILDING CODE (FBC) 2014 ACCESSIBILITY CODE.
- SEPARATE PERMITS ARE REQUIRED FOR THE FOLLOWING, IF APPLICABLE:
 - DUMPSTER ENCLOSURE
 - LIFT STATIONS
 - SWIMMING POOLS
 - PLAYGROUND EQUIPMENT
 - SIGNS
 - RETAINING WALLS
 - ENTRY
 - WALL FEATURES
 - SITE LIGHTING
 - GENERATORS
 - FENCE
 - UNDERGROUND FIRE MAINS
 - PRIVATE FIRE HYDRANTS
 - STRUCTURES ERECTED AT THIS SITE



CERTIFICATE OF AUTHORIZATION NUMBER. 29279
1120 W. MINNEOLA AVENUE
CLERMONT, FLORIDA 34711
PHONE (352) 242-9329
WWW.GERMANAENGINEERING.COM

Christopher M. Germana, State of Florida, Professional Engineer, License No. 61682.
This item has been electronically signed and sealed by Christopher M. Germana on 12-11-2017 using a Digital Signature. Printed copies of this document are not considered signed and sealed and the signature must be verified on any electronic copies.

NO.	REVISIONS	DATE
1.	REVISED PER SURVMD COMMENTS	12-04-17

SITE PLAN

EASTSIDE VETERINARY HOSPITAL

PROJECT # GE0162017

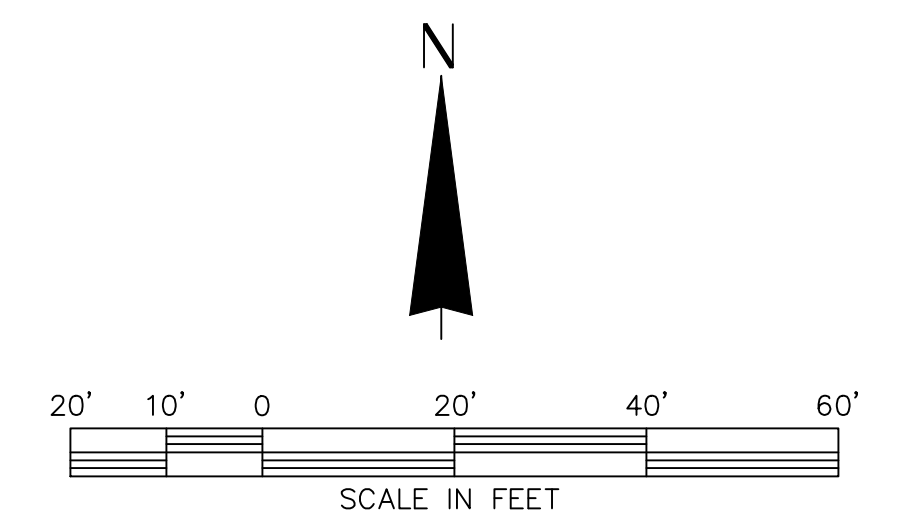
LAKE COUNTY, FLORIDA

GERMANA ENGINEERING and Associates, LLC
 © COPYRIGHT 2017
 1120 W. MINNEOLA AVENUE, CLERMONT, FL 34711
 Phone: (352) 242-9329
 WWW.GERMANAENGINEERING.COM
 CERTIFICATE OF AUTHORIZATION: 29279

SCALE 1" = 20'

DATE 11/15/17

SHEET C-4



SITE DATA TABLE

- SITE AREA:**
ORIGINAL SURVEY - 91,727.45 SQUARE FEET, 2.11 ACRES
AFTER R/W DEDICATION - 83,504.40 SQUARE FEET, 1.92 ACRES
- SITE LOCATION:**
15016 PINE VALLEY BOULEVARD, CLERMONT, FL 34711
LOTS 8 AND 9, PINE VALLEY INDUSTRIAL PARK
SECTION 27, TOWNSHIP 22 E, RANGE 26 S
- PROPERTY DESCRIPTION:**
CURRENT CONDITION: VACANT LOT
PROPERTY ZONING: MP - PLANNED INDUSTRIAL
- BUILDING SETBACK:**

	REQUIRED	PROVIDED
NORTH (PINE VALLEY BLVD)	50'	70.44'
SOUTH (SIDE)	12'	143.04'
WEST (HANCOCK ROAD)	50'	106.33'
EAST (REAR)	25'	53.40'
- BUILDING DATA:**
TOTAL BUILDING AREA = 8,519 SF
- PARKING:**

REQUIRED PARKING:
1 SPACE PER 200 SF OF OFFICE/VET AREA
8,519 SF X 1 SPACE/200 SF = 42.6
USE 43 SPACES

TOTAL PARKING PARKING REQUIRED = 43 SPACES

PARKING PROVIDED:
STANDARD SPACES = 41
HANDICAP SPACES = 2
TOTAL PARKING SPACES = 43
- AREA CALCULATIONS:**

TOTAL SITE AREA =	83,504.40 SF (1.92 AC)	100.00%
TOTAL PERVIOUS AREA =	57,491.93 SF (1.32 AC)	68.75%
TOTAL IMPERVIOUS AREA =	26,012.47 SF (0.60 AC)	31.25%
PROPOSED BUILDING =	8,519.00 SF	
PROPOSED PAVEMENT =	14,010.34 SF	
PROPOSED SIDEWALK =	3,488.13 SF	

SITE PLAN LEGEND

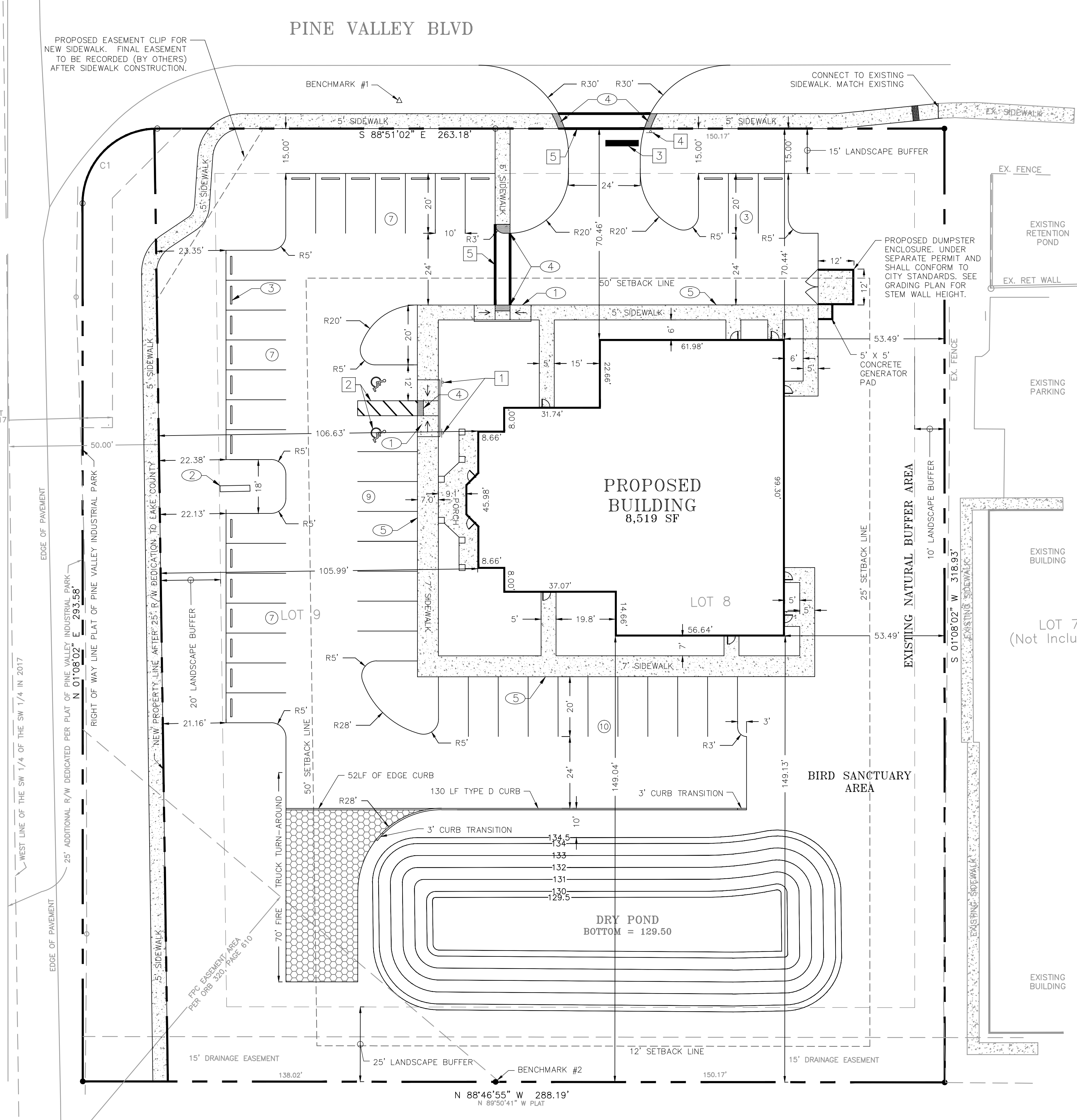
- PROPOSED CONCRETE SIDEWALK
- PARKING SPACE COUNT
- STABILIZED GRASSPAVE AREA SEE DETAIL SHEET C-8

SIGNAGE, STRIPING LEGEND

- HANDICAP SIGN (PER LOCAL CODE)
- HANDICAP SPACE STRIPING. SEE SHEET C-8
- 24" WHITE PAINTED STOP BAR
- 30" STOP SIGN (R1-1)
- 5' WIDE - 12" WHITE PAINTED CROSSWALK

SITE NOTES LEGEND

- HANDICAP RAMP. SEE DETAIL SHEET C-8.
- MONUMENT SIGN. SHOWN FOR REFERENCE ONLY. DESIGNED BY OTHERS.
- CONCRETE WHEEL STOP PLACED 2' FROM EDGE OF PAVEMENT. (SEE DETAIL SHEET C-8)
- 2' WIDE EXPOSED AGGREGATE DETECTABLE WARNING
- 6" RAISED SIDEWALK EDGE (SEE DETAIL SHEET C-8)



CURVE TABLE					
CURVE	RADIUS	ARC LENGTH	CHORD LENGTH	CHORD BEARING	DELTA ANGLE
C1	25.00'	39.28'	35.36'	N 46°08'30" E	90°00'57"

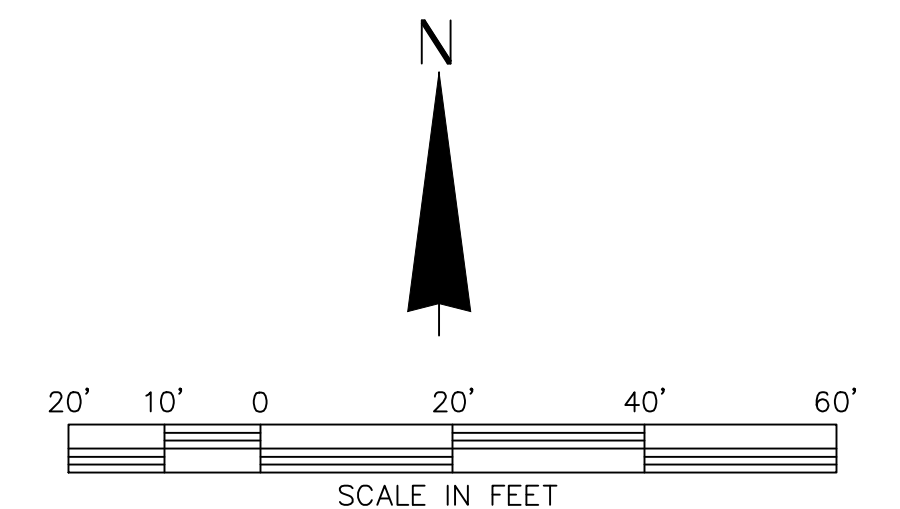
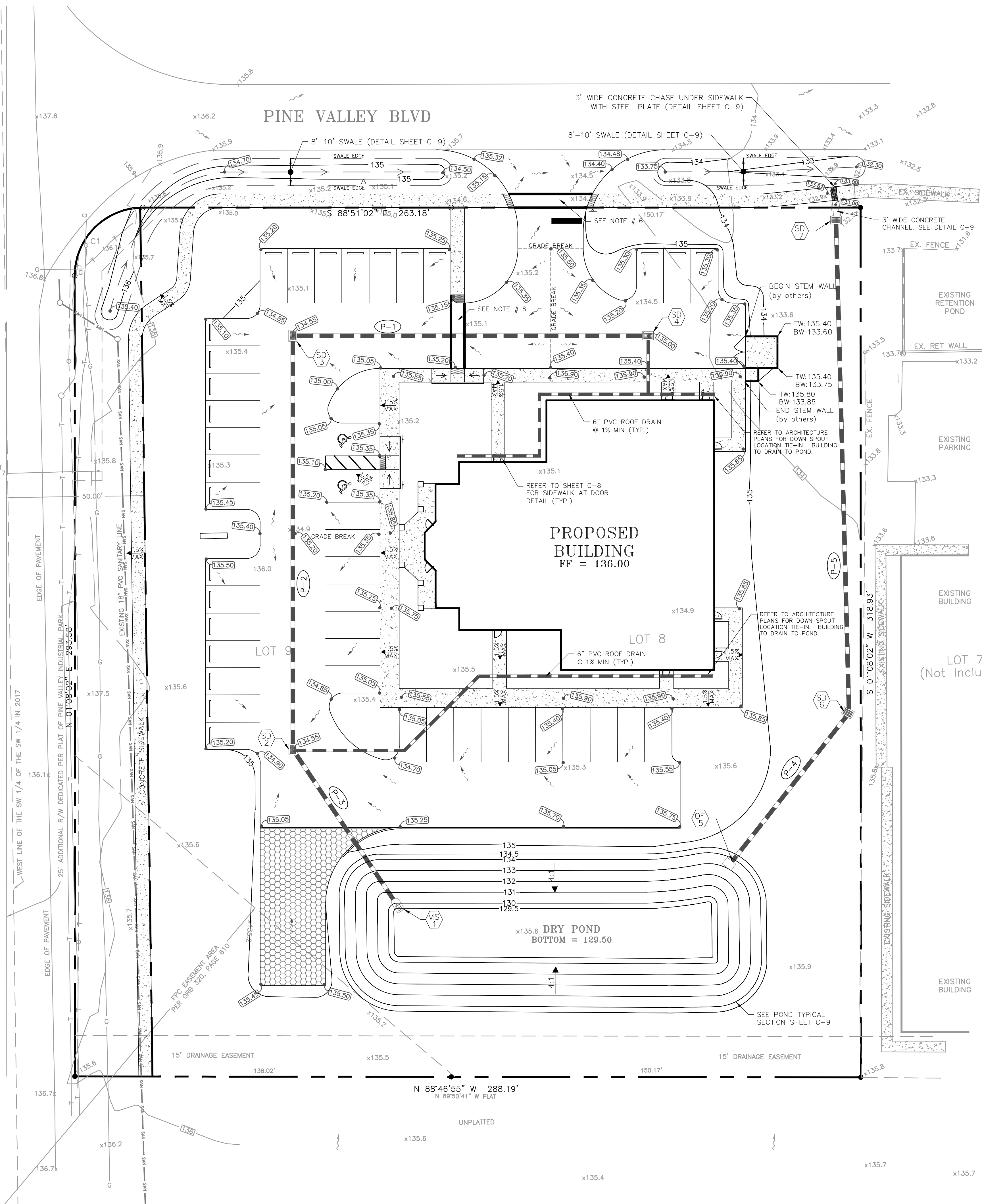
SITE STAKEOUT NOTE:
 THE SITE CONSTRUCTION STAKEOUT SHALL BE PERFORMED UNDER THE DIRECTION OF A FLORIDA REGISTERED SURVEYOR. AUTOCAD FILE WILL BE PROVIDED TO AID IN THE SITE CONSTRUCTION STAKEOUT. ANY DISCREPANCIES FOUND BETWEEN THE AUTOCAD FILES SHALL BE BROUGHT TO THE ENGINEERS ATTENTION FOR CLARIFICATION PRIOR TO THAT STAKEOUT.

ADA NOTE:
 SITE SHALL COMPLY WITH THE FLORIDA ACCESSIBILITY CODE FOR BUILDING CONSTRUCTION, 2014 EDITION.

Christopher M. Germana, State of Florida, Professional Engineer, License No. 61682.
 This item has been electronically signed and sealed by Christopher M. Germana on 12-11-2017 using a Digital Signature. Printed copies of this document are not considered signed and sealed and the signature must be verified on any electronic copies.

CHRISTOPHER M. GERMANA, P.E.
 FLORIDA PROFESSIONAL ENGINEER # 61682
 FIRM CERTIFICATE OF AUTHORIZATION # 29279

WEST LINE OF THE SW 1/4 OF THE SW 1/4 PER PLAT OF PINE VALLEY INDUSTRIAL PARK (1988)
HANCOCK ROAD
 25' EXISTING R/W PER PLAT OF PINE VALLEY INDUSTRIAL PARK



LEGEND

---	EXISTING OVERHEAD POWER LINE
x	EXISTING SPOT ELEVATION
(135.53)	PROPOSED ELEVATION
-143-	EXISTING GROUND CONTOUR
—143—	PROPOSED GROUND CONTOUR
→	PROPOSED FLOW ARROW
→	EXISTING FLOW ARROW
—	CONCRETE SIDEWALK
---	PROPOSED STORM SEWER

STRUCTURE TABLE (PROPOSED)

MS 1	STANDARD MITERED END SECTION (FDOT INDEX 272) INV. OUT = 129.50
SD 2	TYPE C INLET TOP = 134.55 INV. IN = 129.88 (N) INV. IN = 130.00 (NE) INV. OUT = 129.78 (SE)
SD 3	TYPE C INLET TOP = 134.55 INV. IN = 130.64 (E) INV. OUT = 130.54 (S)
SD 4	TYPE C INLET TOP = 135.00 INV. IN = 131.50 (S) INV. OUT = 131.21 (W)

PIPE TABLE

P-1	127 LF OF 18" ADS PIPE @ 0.45%
P-2	148 LF OF 18" ADS PIPE @ 0.45%
P-3	64 LF OF 18" ADS PIPE @ 0.45%
P-4	68 LF OF 18" ADS PIPE @ 0.40%
P-5	178 LF OF 18" ADS PIPE @ 0.40%

NOTES

- SITE SHALL COMPLY WITH THE FLORIDA ACCESSIBILITY CODE FOR BUILDING CONSTRUCTION, 2014 EDITION.
- ALL SIDEWALK SLOPE SHALL BE ADA COMPLIANT. CROSS SLOPES SHALL NOT EXCEED 2% SLOPE. HANDICAP PARKING SHALL NOT EXCEED 2% SLOPE IN ANY DIRECTION.
- CONTRACTOR TO VERIFY EXISTING SIDEWALK GRADES AT CONNECTION PRIOR TO NEW SIDEWALK CONCRETE POUR. THE EXISTING SIDEWALK AT THE CONNECTION POINTS
- ELEVATIONS ARE TO THE EDGE OF GRAVEL, PAVEMENT, CONCRETE OR GRASS SPACE UNLESS OTHERWISE NOTED.
- REFER TO LANDSCAPE PLANS FOR DETAILS ON LANDSCAPE ISLANDS.
- GRADES IN CROSS WALL SHALL NOT EXCEED 1.5% CROSS SLOPE AND 5% LONGITUDINAL SLOPE.

****CAUTION****
 EXISTING UNDERGROUND AND OVERHEAD UTILITIES ARE LOCATED WITHIN THE PROJECT AREA. THE LOCATION OF THE EXISTING UTILITIES SHOWN IN THESE PLANS FOR REFERENCE INFORMATION ONLY. IT IS THE CONTRACTORS RESPONSIBILITY TO DETERMINE THE EXACT HORIZONTAL AND VERTICAL LOCATION OF ALL EXISTING UTILITIES PRIOR TO CONSTRUCTION.

Christopher M. Germana, State of Florida, Professional Engineer, License No. 61682.
 This item has been electronically signed and sealed by Christopher M. Germana on 12-11-2017 using a Digital Signature. Printed copies of this document are not considered signed and sealed and the signature must be verified on any electronic copies.

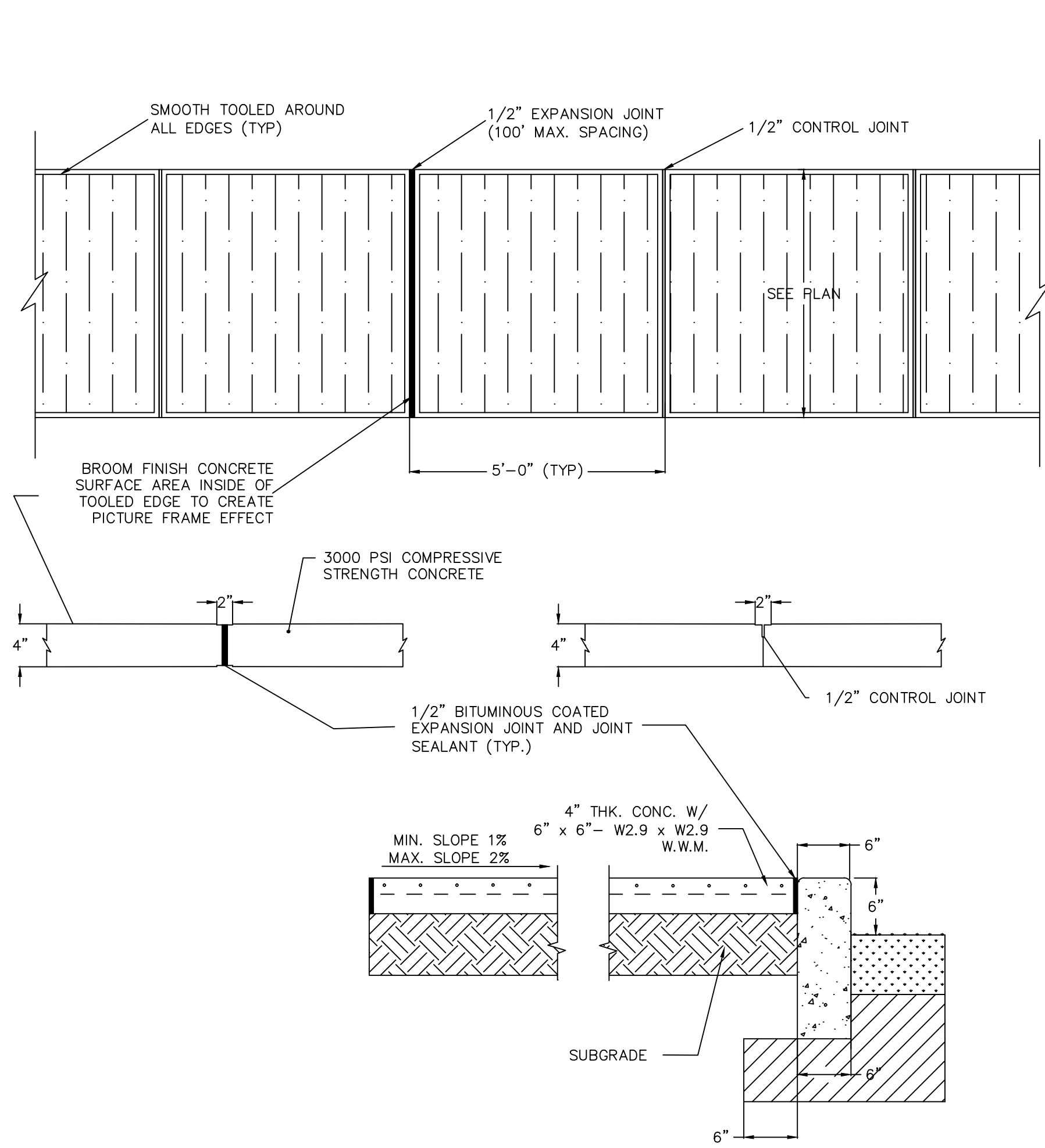
NO.	REVISIONS	DATE
1.	REVISED PER SURVMD COMMENTS	12-04-17

GRADING & DRAINAGE PLAN

EASTSIDE VETERINARY HOSPITAL
 PROJECT # GC0162017
 LAKE COUNTY, FLORIDA

GERMANA ENGINEERING and Associates, LLC
 © COPYRIGHT 2017
 1120 W. MINNEOLA AVENUE CLEMONT, FL 34711
 Phone: (352) 249-9329
 WWW.GERMANAENGINEERING.COM
 CERTIFICATE OF AUTHORIZATION: 29279

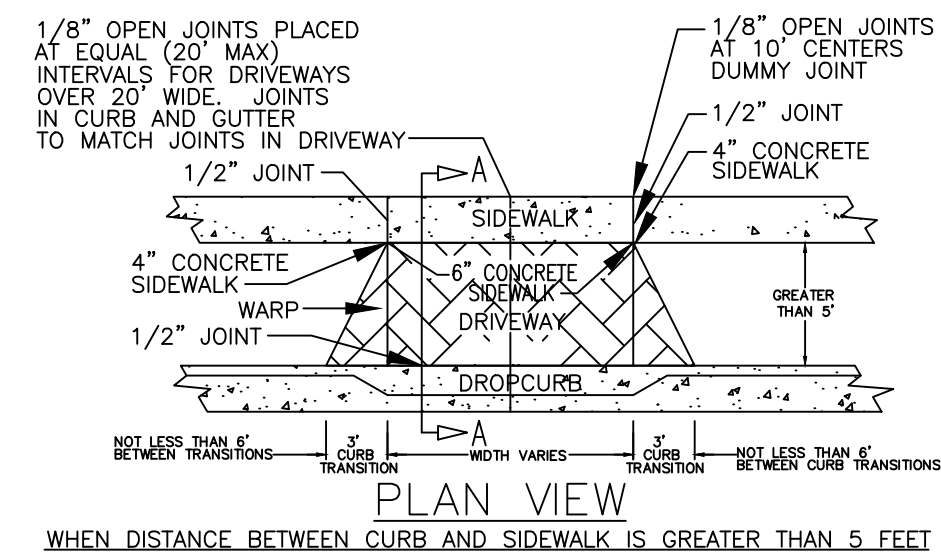
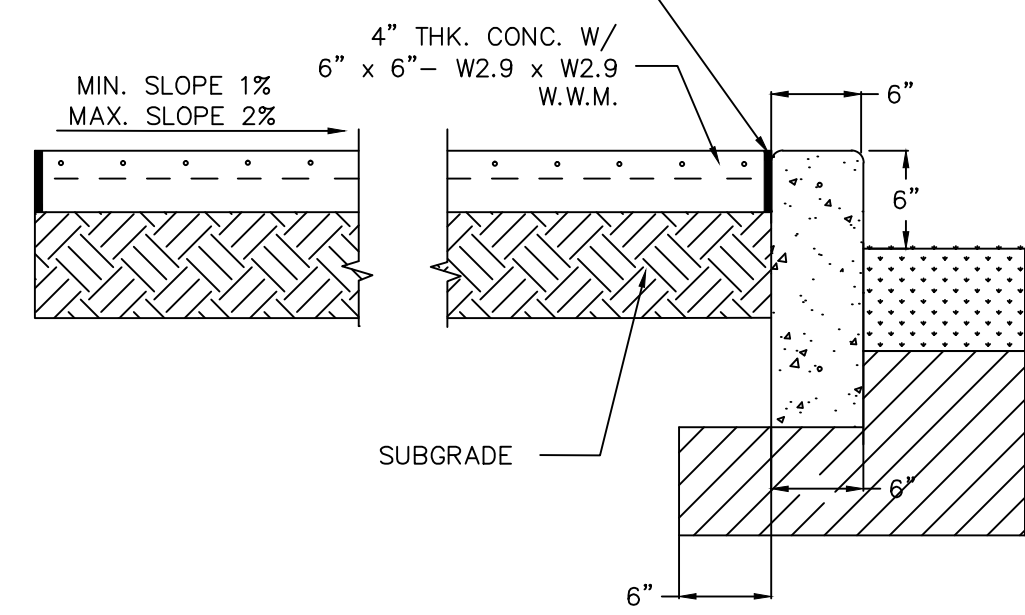
SCALE 1" = 20'
DATE 11/15/17
SHEET C-5



- ① 1 1/2" TYPE S-III A.C.S.C. PAVEMENT, MEETING CURRENT FLORIDA DEPARTMENT OF TRANSPORTATION SPECIFICATIONS. THE WEARING SURFACE SHOULD BE COMPACTED TO A MINIMUM DENSITY OF 95 PERCENT OF THE LABORATORY DENSITY AS DETERMINED BY THE MARSHALL STABILITY TEST METHOD FOR THE APPROVED JOB MIX FORMULA.
- ② 8" LIMEROCK BASE COURSE. QUALITY OF LIMEROCK TO BE IN ACCORDANCE WITH CURRENT FLORIDA DEPARTMENT OF TRANSPORTATION SPECIFICATIONS AND COMPACTED TO A MINIMUM DENSITY EQUIVALENT TO 95 PERCENT OF THE MODIFIED PROCTOR (AASHTO T-180), PRIMED, COMPACTED TO 98% OF THE MAXIMUM DENSITY, PER AASHTO T-180
- OR
6" CRUSHED CONCRETE BASE COURSE. QUALITY OF CRUSHED CONCRETE TO BE IN ACCORDANCE WITH CURRENT FLORIDA DEPARTMENT OF TRANSPORTATION SPECIFICATIONS AND COMPACTED TO A MINIMUM DENSITY EQUIVALENT TO 98 PERCENT OF THE MODIFIED PROCTOR (AASHTO T-180). THE CRUSHED CONCRETE BASE MATERIAL SHOULD HAVE A MINIMUM LBR VALUE OF 120. THE MATERIAL GRADATION SHOULD BE IN ACCORDANCE WITH FDOT STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION (SECTION 204).
- ③ 12" STABILIZED SUBGRADE WITH A MINIMUM FLORIDA BEARING VALUE (FBV) OF 50 PSI OR (LBR) OF 40 PERCENT. THE SUBBASE SHOULD BE COMPACTED TO 95% OF THE MODIFIED PROCTOR MAXIMUM DENSITY (AASHTO T-180) FOR A DEPTH OF 1 FOOT BELOW PAVEMENT SUBGRADE

TYPICAL PAVEMENT SECTION
N.T.S.

TYPICAL CONCRETE SIDEWALK DETAIL
N.T.S.

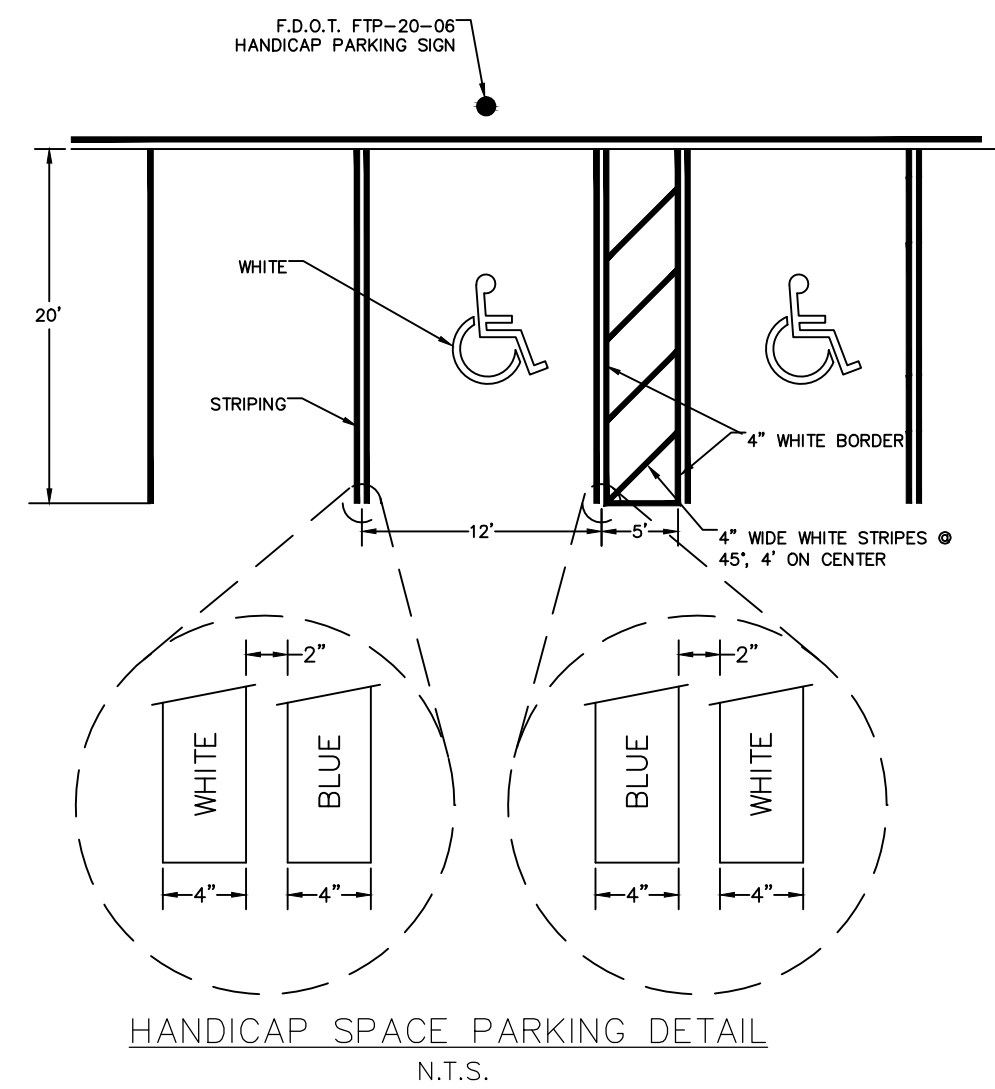


SECTION A-A

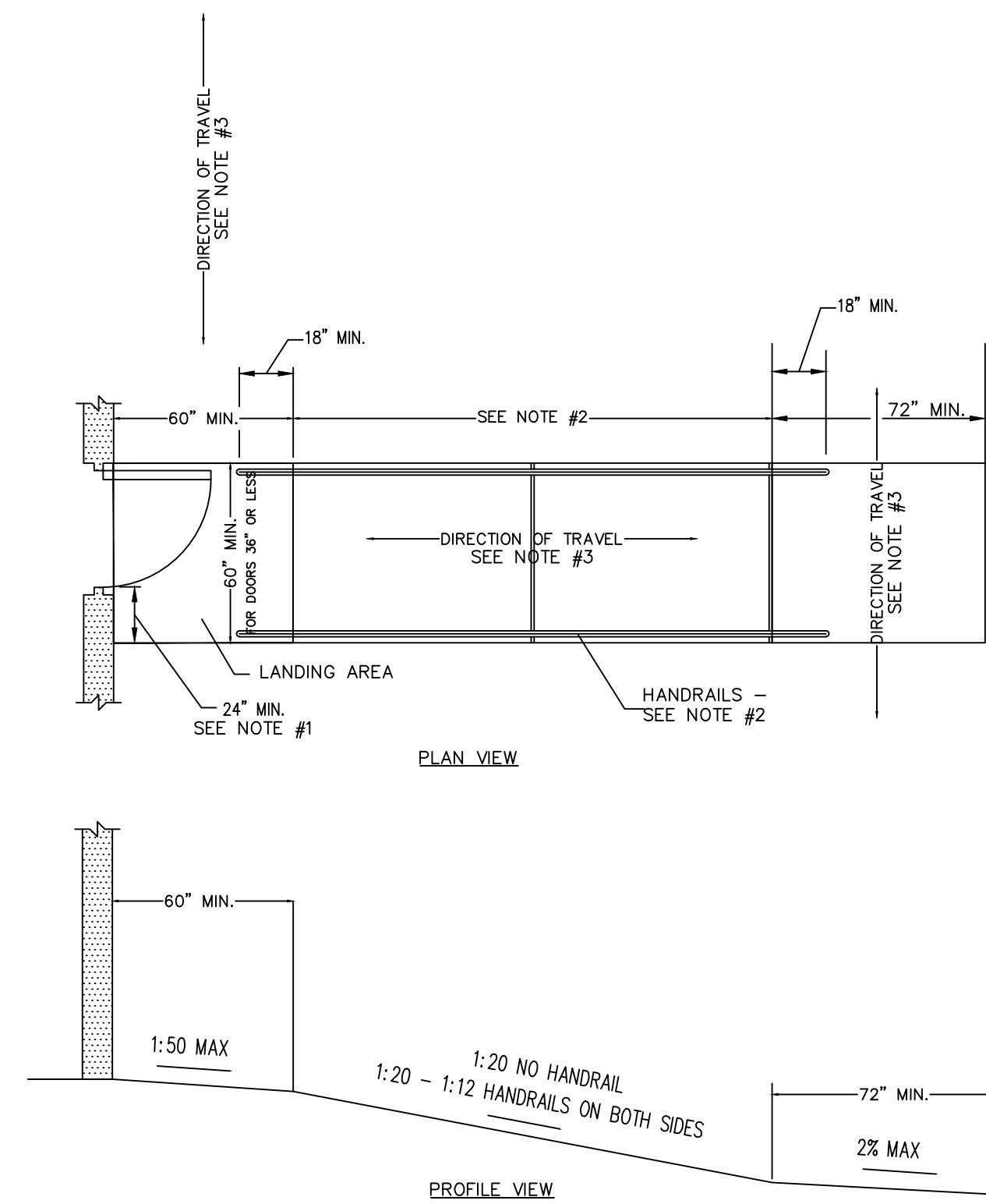
- * SLOPES CAN BE ADJUSTED WITHIN THE RANGES SHOWN TO IMPROVE TIES TO ADJACENT PROPERTY AND ARE TO BE TRANSITIONED TO AVOID DISTORTION BE TRANSITIONED TO AVOID DISTORTION IN SIDEWALK CONTINUITY
- ** SPECIAL PERMISSION MAY BE OBTAINED TO INCREASE OR DECREASE SLOPE OF DRIVEWAY TO IMPROVE TIES TO SIDEWALK AND GUTTER GRADE
- NOTE: DRIVEWAYS AND SIDEWALKS THROUGH DRIVEWAYS SHALL REQUIRE 6" x 6" REINFORCEMENT WIRE OR 3,000 PSI FIBER REINFORCED CONCRETE.

- CHECK AND VERIFY THESE ITEMS:
- 6" W/WIRE
 - 3" TAPER CUT SQUARE
 - 5" SIDEWALK TO R/W
 - SLOPE VARIES ** (1/2") .04 FT./FT. NORMAL
 - (1/4") .02 FT./FT. MIN.
 - (3/4") .06 FT./FT. MAX.

SIDEWALK AND PAVED DRIVEWAY CONSTRUCTION
N.T.S.



HANDICAP SPACE PARKING DETAIL
N.T.S.



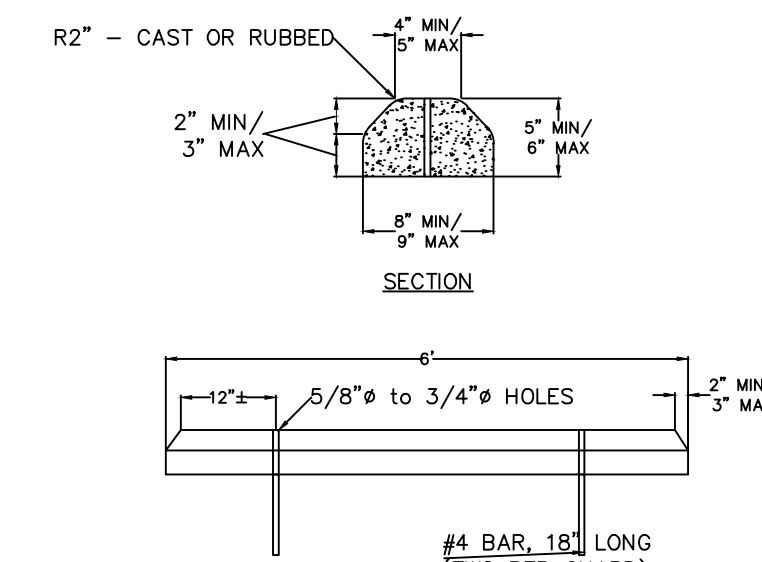
* 4'-0" MIN.

HANDICAP RAMPES	
SIDEWALK SLOPE	MIN. RAMP LENGTH (FT.)
0.00 %	6.00
0.25 %	6.19
0.50 %	6.39
0.75 %	6.60
1.00 %	6.82
1.25 %	7.06
1.50 %	7.32
1.75 %	7.60
2.00 %	7.90

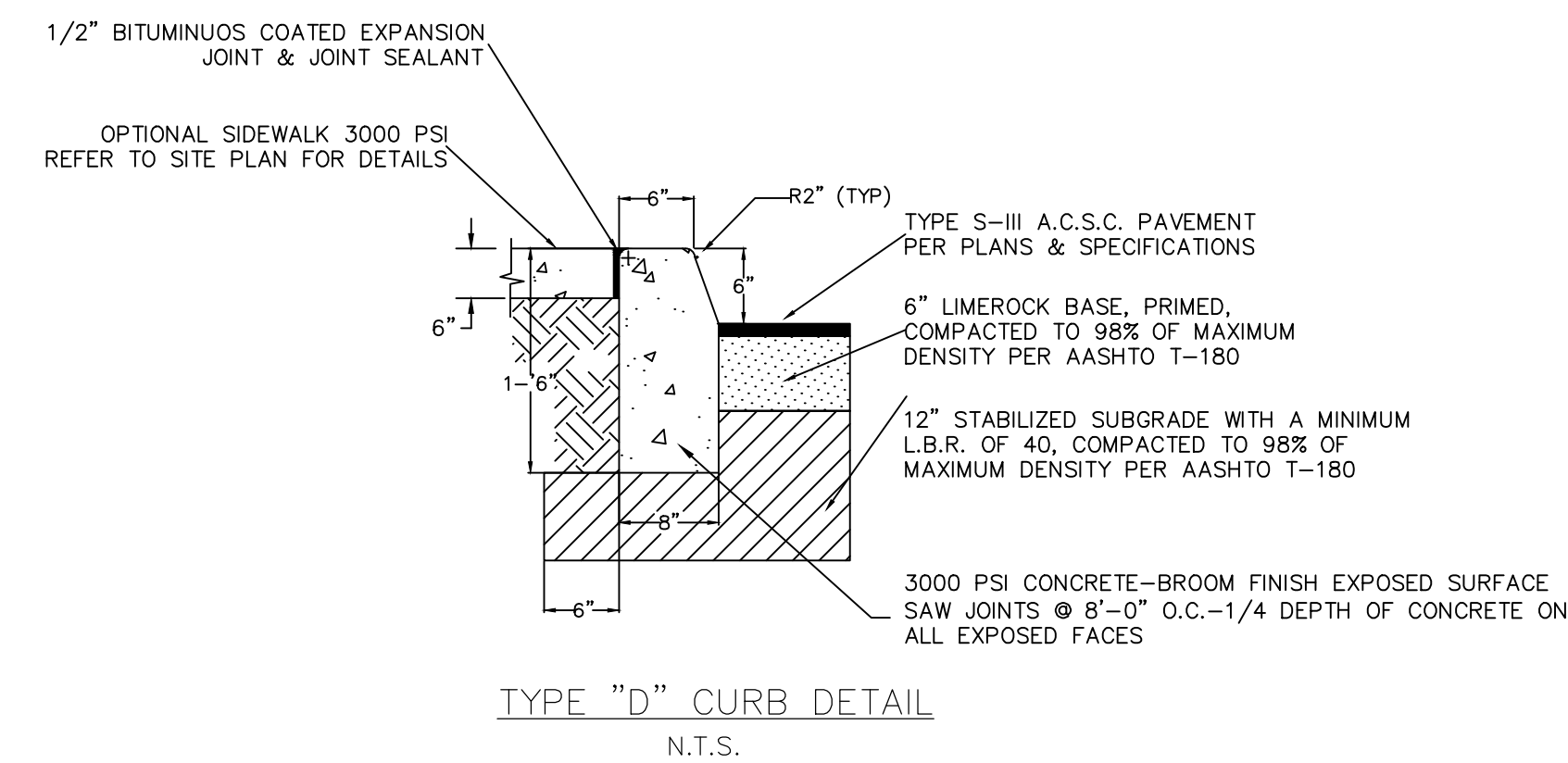
RAMP DETAIL
N.T.S.

- NOTES:
1. IF APPROACH TO DOOR IS FROM HINGE SIDE AND SIDEWALK RAMP IS ONLY 60" WIDE, THE MINIMUM DISTANCE FROM THE LATCH SIDE OF THE DOOR TO THE EDGE OF THE LANDING IS 42".
 2. IF SLOPE IS 1:20 (5%) OR LESS, LENGTH IS UNLIMITED AND AREA IS CONSIDERED A WALK. IF SLOPE IS BETWEEN 1:20 (5%) AND 1:12 (8.33%) LENGTH IS LIMITED TO 72" WITHOUT HANDRAILS. LENGTHS GREATER THAN 72" REQUIRE HANDRAILS ON BOTH SIDES. AREA IS CONSIDERED A RAMP.
 3. IN ALL CASES, CROSS-SLOPE (SLOPE PERPENDICULAR TO DIRECTION OF TRAVEL) IS MAX. 1:50 (2%).

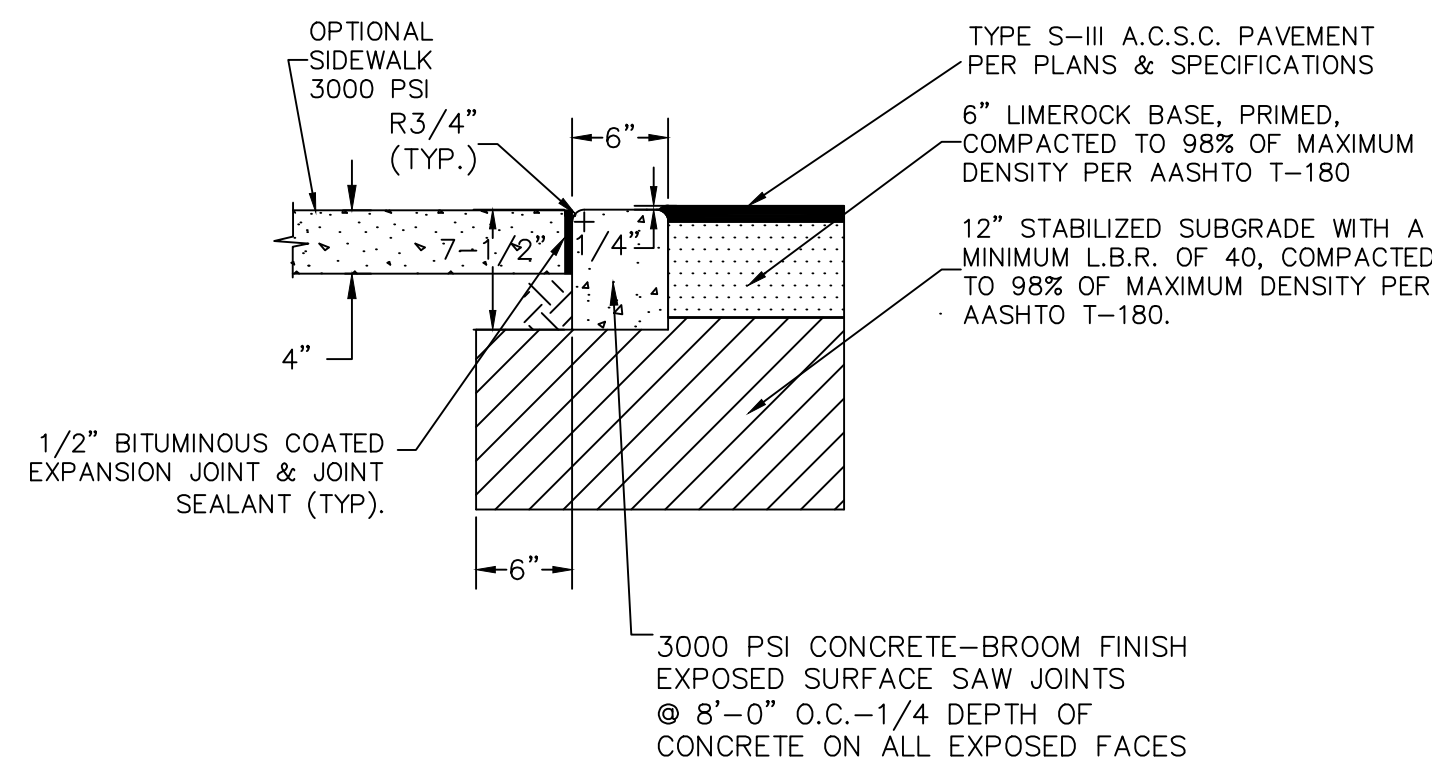
SIDEWALK AT DOOR
N.T.S.



CONCRETE WHEEL STOP DETAIL
N.T.S.



TYPE "D" CURB DETAIL
N.T.S.



6" EDGE CURB
N.T.S.

Christopher M. Germana, State of Florida, Professional Engineer, License No. 61682. This item has been electronically signed and sealed by Christopher M. Germana on 12-11-2017 using a Digital Signature. Printed copies of this document are not considered signed and sealed and the signature must be verified on any electronic copies.

DATE

REVISIONS

No.

CONSTRUCTION DETAILS

EASTSIDE VETERINARY HOSPITAL

PROJECT # GE0162017

LAKE COUNTY, FLORIDA

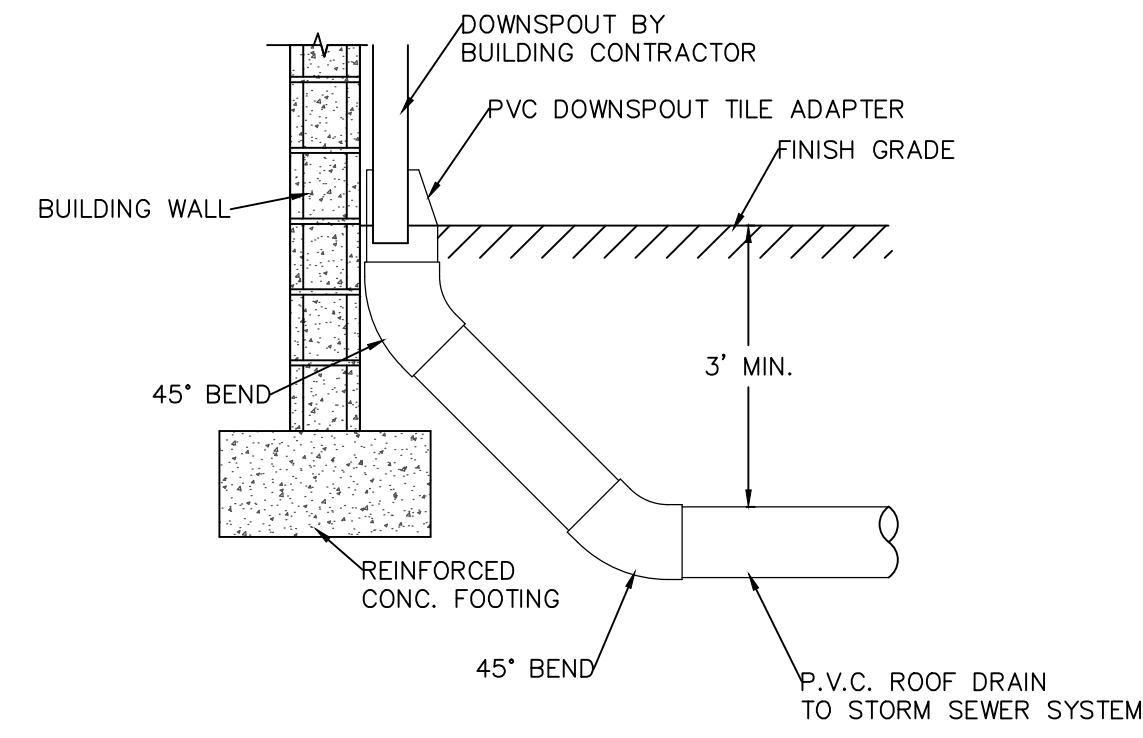
GERMANA ENGINEERING and Associates, LLC
© COPYRIGHT 2017
1120 W. MINNEOLA AVENUE CLEMONT, FL 34711
Phone: (352) 242-9329
WWW.GERMANAENGINEERING.COM
CERTIFICATE OF AUTHORIZATION: 29279

SCALE "N"TS

DATE 11/15/17

SHEET

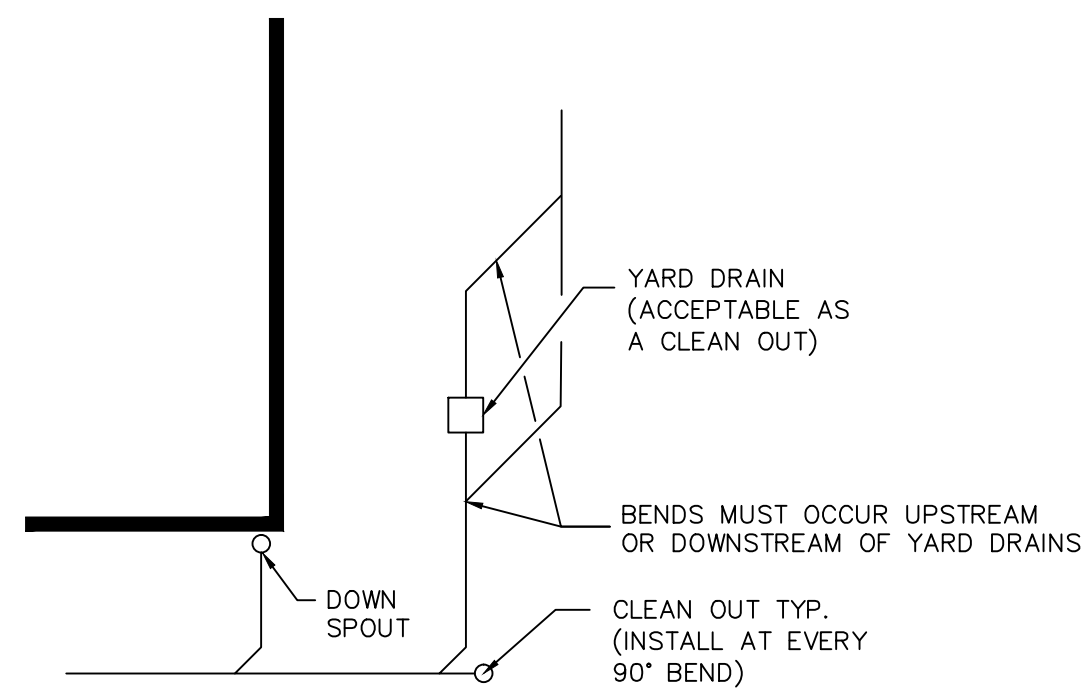
C-8



NOTE: CONTRACTOR TO VERIFY THAT DOWNSPOUTS WILL FIT INTO ROOF DRAIN PIPE PRIOR TO INSTALLATION

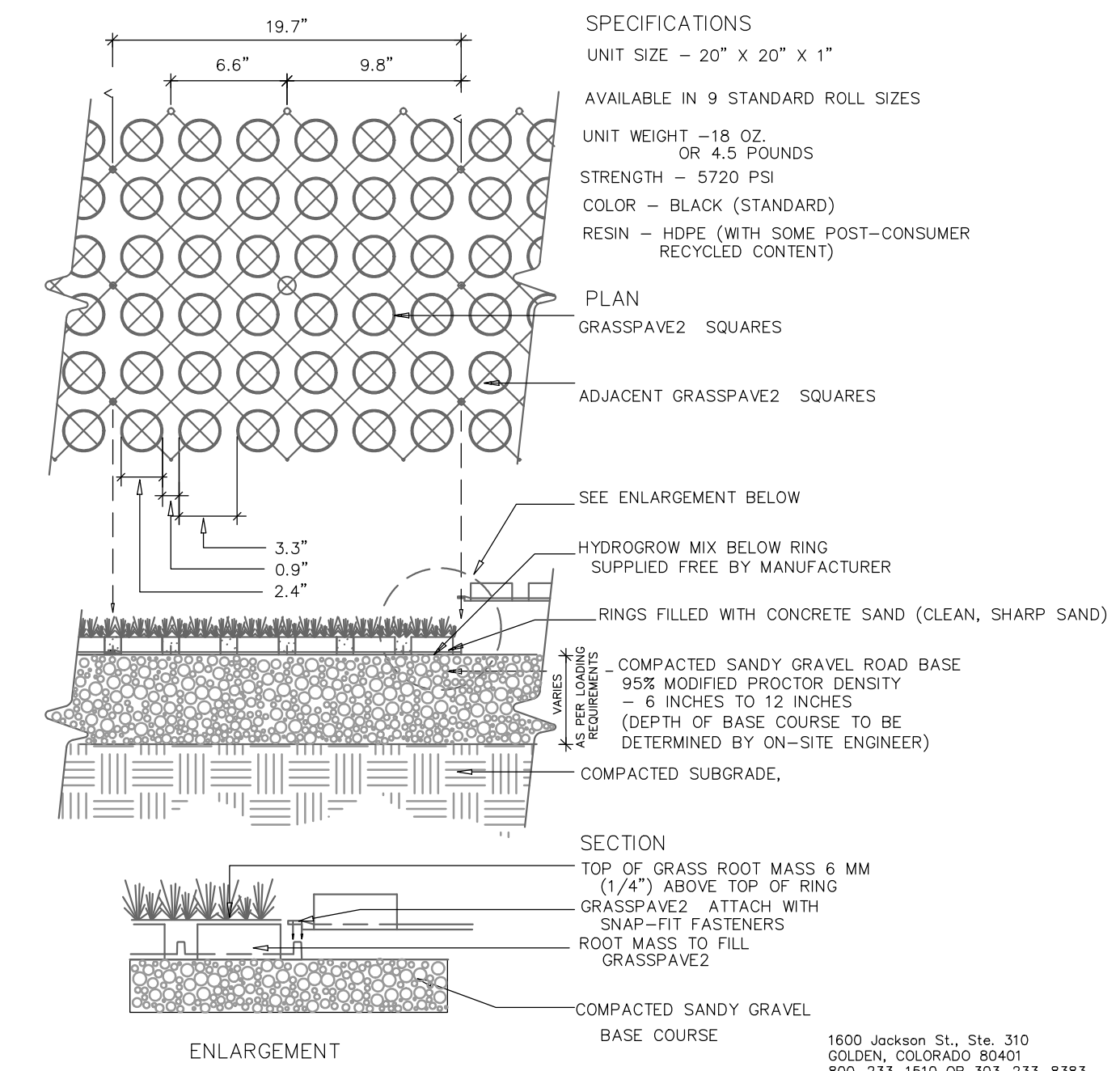
ROOF DRAIN/DOWNSPOUT CONNECTION DETAIL

N.T.S.



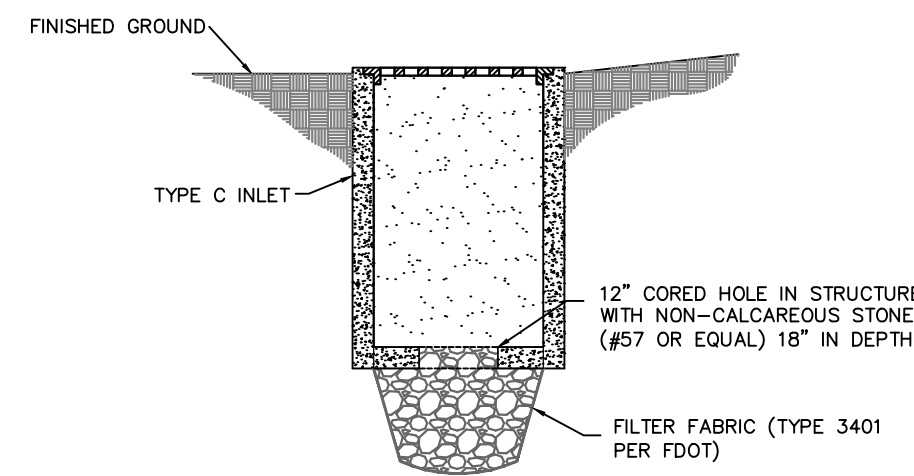
GUTTERS, DOWNSPOUTS AND COLLECTION SYSTEM DETAIL

NOTE: A ROOF DRAIN COLLECTION SYSTEM IS REQUIRED ON ALL COMMERCIAL FACILITIES



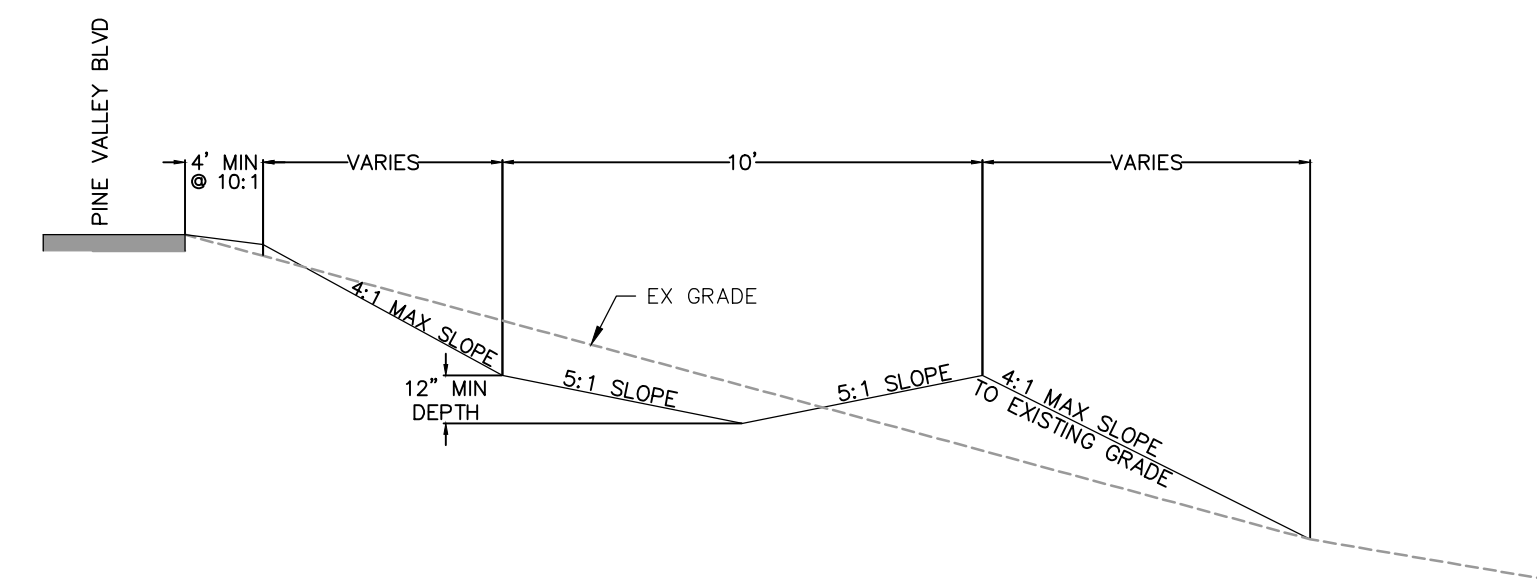
GRASSPAVE 2 DETAIL

N.T.S.



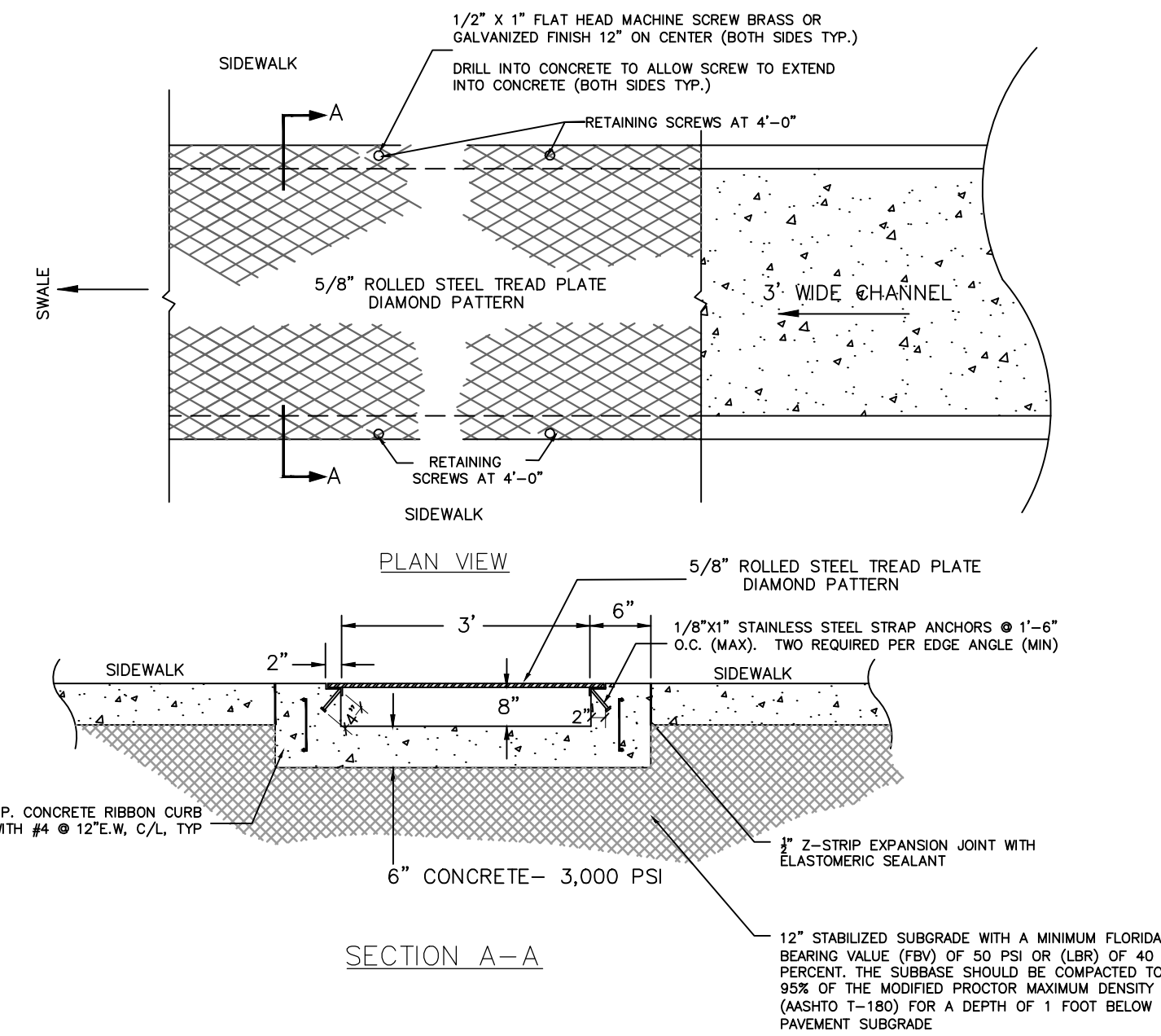
TYPE C INLET WITH CORED BOTTOM

N.T.S.



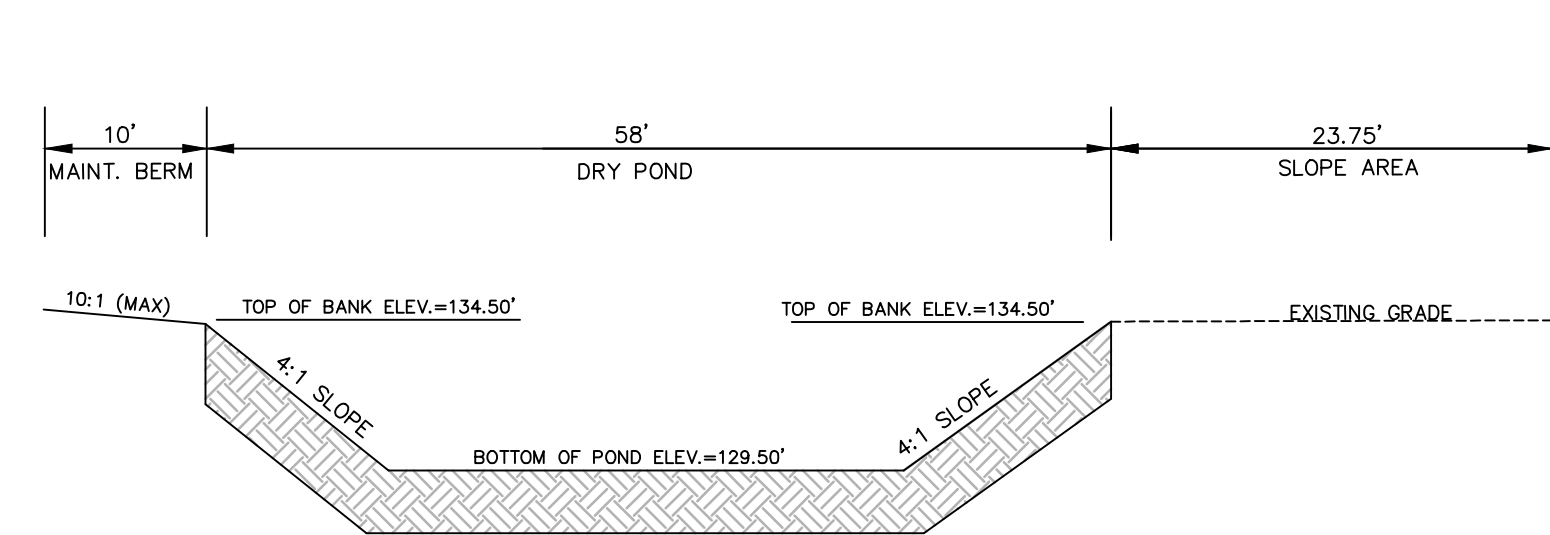
8' - 10' SWALE SECTION

N.T.S.



DRAINAGE UNDER SIDEWALK

N.T.S.



DRY POND SECTION A-A

N.T.S.

NOTES
1. ARGENTINA BAHIA SOD SHALL BE USED IN SWALE AND DISTURBED AREAS. NON-MUCK GROWN SOD SHALL BE INSTALLED

NOTES
1. ARGENTINA BAHIA SOD SHALL BE USED ON POND SLIDE SLOPES, BERM, AND BOTTOM. NON-MUCK GROWN SOD SHALL BE INSTALLED

Christopher M. Germana, State of Florida, Professional Engineer, License No. 61682. This item has been electronically signed and sealed by Christopher M. Germana on 12-11-2017 using a Digital Signature. Printed copies of this document are not considered signed and sealed and the signature must be verified on any electronic copies.

CONSTRUCTION DETAILS

EASTSIDE VETERINARY HOSPITAL

GERMANA ENGINEERING and Associates, LLC
© COPYRIGHT 2017
1120 W. MINNEOLA AVENUE, CLEFELMONT, FL 34711
Phone: (352) 242-9329
WWW.GERMANAENGINEERING.COM
CERTIFICATE OF AUTHORIZATION: 29279

SCALE "N.T.S."

DATE 11/15/17

SHEET

C-9

CHRISTOPHER M. GERMANA, P.E.
FLORIDA PROFESSIONAL ENGINEER # 61682
FIRM CERTIFICATE OF AUTHORIZATION # 29279

REVISIONS	DATE
No. 1. REVISED PER SURVMD COMMENTS	12-04-17

PROJECT # 060162017

LAKE COUNTY, FLORIDA