

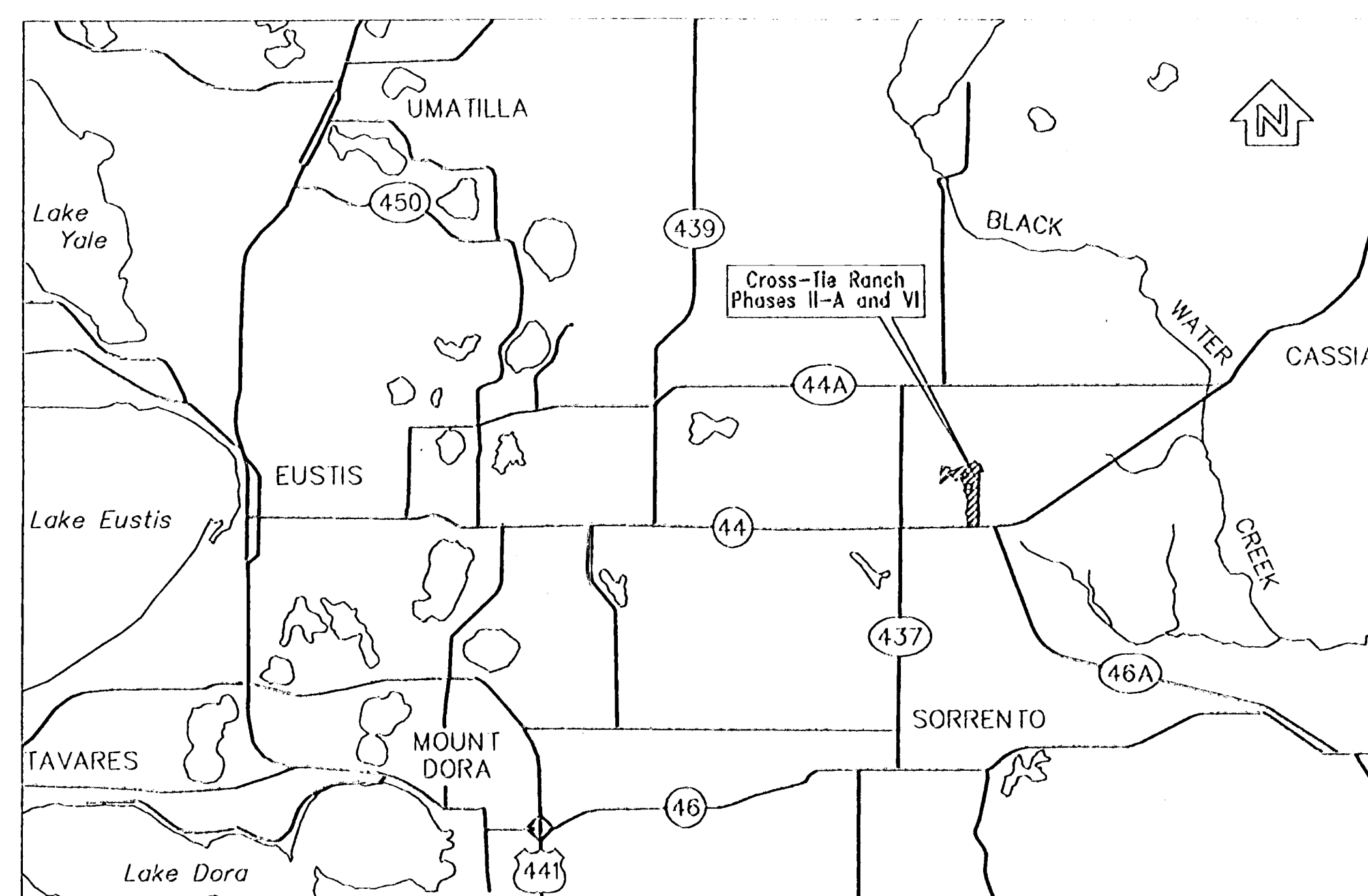
CONSTRUCTION PLANS OF Cross-Tie Ranch Phase II

OWNER/DEVELOPER:

CROSS-TIE RANCH
LIMITED PARTNERSHIP
518 PLEASANT STREET
NORTHAMPTON, MA 01060

PREPARED BY:

FARNER, BARLEY & ASSOCIATES, INC.
350 N. SINCLAIR AVENUE
TAVARES, FLORIDA-32778
(904)343-8481



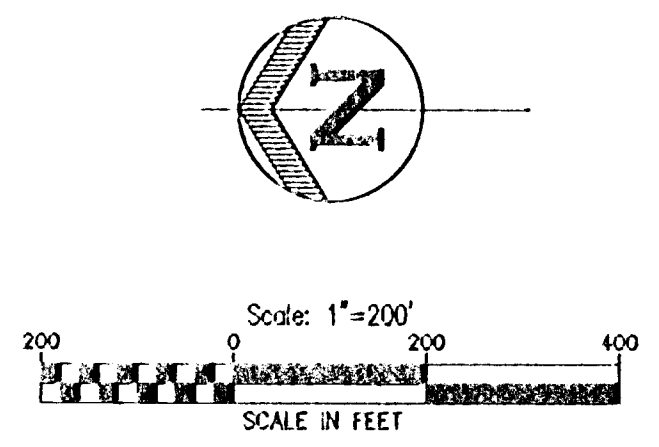
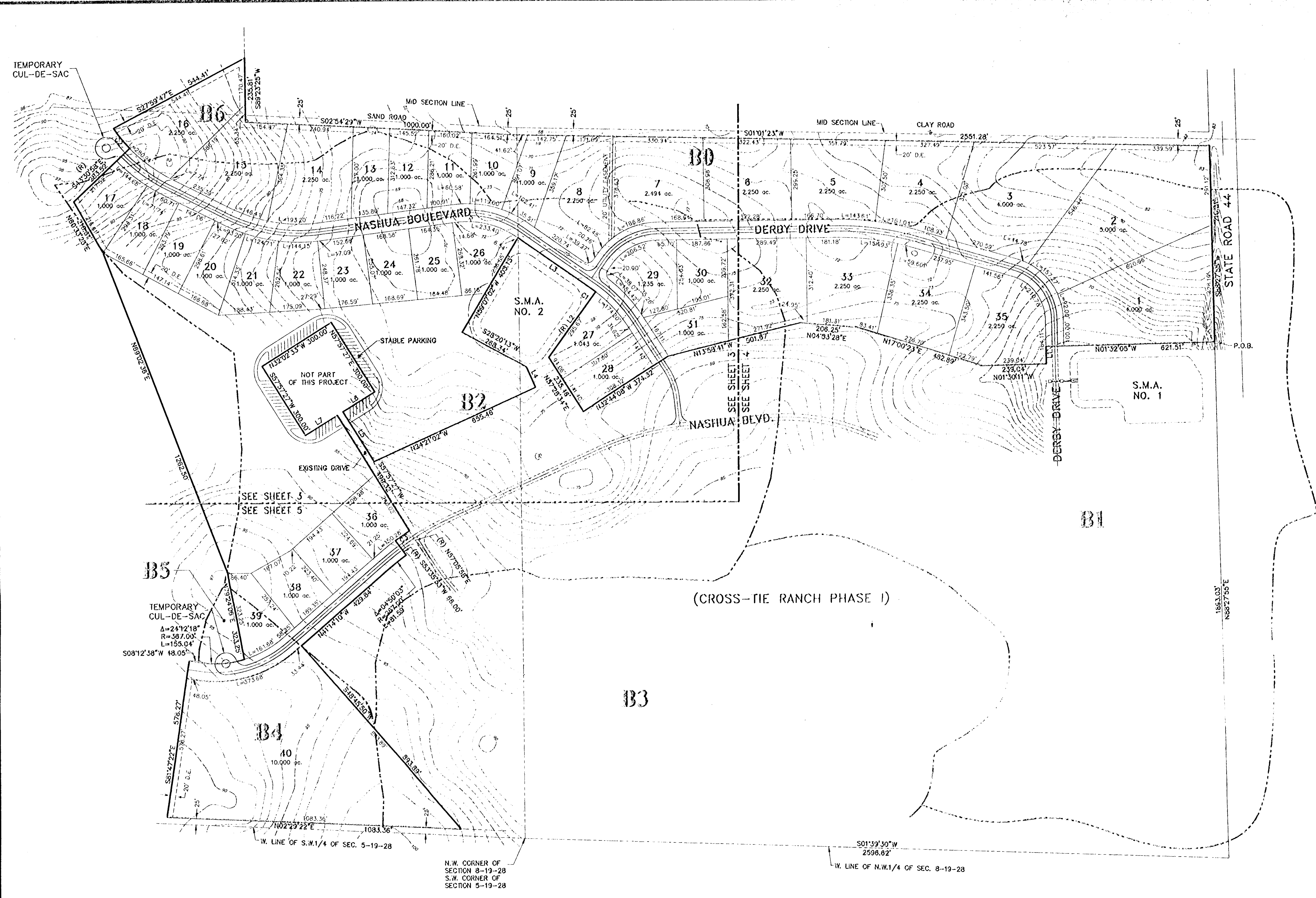
VICINITY MAP

INDEX of SHEETS

1. COVER SHEET
2. MASTER PLAN
3. MASTER DRAINAGE PLAN
4. MASTER DRAINAGE PLAN
5. MASTER DRAINAGE PLAN
6. PLAN AND PROFILE
7. PLAN AND PROFILE
8. PLAN AND PROFILE
9. DETAILS
10. AERIAL

RECEIVED
JAN 24 1994
4-067-02 96A
RECORDS
ORLANDO

WMB
1/21/94



DESCRIPTION

A PARCEL OF LAND IN SECTIONS 5 AND 8, TOWNSHIP 19 SOUTH, RANGE 28 EAST, LAKE COUNTY, FLORIDA, DESCRIBED AS FOLLOWS:

FROM THE NORTHWEST CORNER OF AFORESAID SECTION 8 RUN S01°39'30"W ALONG THE WEST LINE OF THE NORTHWEST 1/4 THEREOF A DISTANCE OF 2598.62 FEET TO THE NORTH RIGHT-OF-WAY LINE OF STATE ROAD 44; THENCE ALONG SAID RIGHT-OF-WAY LINE RUN N82°27'55"E 1893.03 FEET TO THE POINT OF BEGINNING; THENCE LEAVING SAID RIGHT-OF-WAY LINE RUN N01°32'05"W 821.51 FEET; THENCE S88°29'49"W 64.07 FEET; THENCE N01°30'11"W 239.04 FEET; THENCE N17°00'23"E 482.89 FEET; THENCE N04°53'28"E 208.25 FEET; THENCE N13°58'41"W 501.87 FEET; THENCE N32°44'08"W 374.32 FEET; THENCE N07°28'34"E 235.46 FEET; THENCE S54°05'00"E 285.87 FEET TO A POINT ON A CURVE; SAID CURVE CONCAVE NORTHWESTERLY, HAVING A RADIUS OF 467.00 FEET TO WHICH A RADIAL LINE BEARS N54°08'30"E; THENCE NORTHEASTERLY 9.20 FEET ALONG THE ARC THEREOF THROUGH A CENTRAL ANGLE OF 010°7'44" TO THE END OF SAID CURVE; THENCE N34°45'48"E 338.97 FEET; THENCE N05°00'02"W 403.13 FEET; THENCE S28°01'37"E 268.34 FEET; THENCE S65°38'58"W 81.01 FEET; THENCE N24°21'02"W 655.46 FEET; THENCE N07°57'27"E 215.66 FEET; THENCE S32°02'33"E 137.50 FEET; THENCE N07°57'27"E 300.00 FEET; THENCE N32°02'33"E 300.00 FEET; THENCE S57°57'27"W 300.00 FEET; THENCE S32°02'33"E 137.50 FEET; THENCE S57°57'27"W 499.32 FEET TO A POINT ON A CURVE; SAID CURVE CONCAVE SOUTHWESTERLY AND HAVING A RADIUS OF 1033.00 FEET TO WHICH A RADIAL LINE BEARS N57°05'58"E; THENCE NORTHWESTERLY 63.13 FEET ALONG THE ARC OF SAID CURVE THROUGH A CENTRAL ANGLE OF 37°00'; THENCE ALONG A RADIAL LINE RUN S53°35'53"W 68.00 FEET TO A POINT ON A CURVE; SAID CURVE CONCAVE SOUTHWESTERLY AND HAVING A RADIUS OF 987.00 FEET TO WHICH A RADIAL LINE BEARS N53°35'53"E; THENCE NORTHWESTERLY 81.59 FEET ALONG THE ARC OF SAID CURVE THROUGH A CENTRAL ANGLE OF 45°03'; THENCE N41°14'10"W 429.84 FEET; THENCE S48°45'50"W 893.89 FEET TO A POINT 25 FEET EAST OF THE WEST LINE OF THE S.W.1/4 OF THE AFORESAID SECTION 5 (WHEN MEASURED AT RIGHT ANGLES THERE TO); THENCE N02°29'22"E PARALLEL WITH AND 25 FEET EAST OF SAID WEST LINE 1083.36 FEET; THENCE S81°47'22"E 578.27 FEET; THENCE S08°12'38"W 48.05 FEET TO THE BEGINNING OF A CURVE CONCAVE EASTERLY AND HAVING A RADIUS OF 387.00 FEET; THENCE RUN SOUTHERLY ALONG THE ARC OF SAID CURVE THROUGH A CENTRAL ANGLE OF 24°12'18" AN ARC LENGTH OF 155.04 FEET; THENCE N79°24'06"E 323.25 FEET; THENCE N69°02'56"E 1282.50 FEET; THENCE N60°33'23"E 216.61 FEET; THENCE S43°30'58"E 283.52 FEET TO A POINT ON A CURVE CONCAVE SOUTHEASTERLY AND HAVING A RADIUS OF 587.00 FEET; SAID POINT BEARS N43°30'58"W OF THE RADIUS POINT OF SAID CURVE; THENCE RUN NORTHEASTERLY ALONG THE ARC OF SAID CURVE THROUGH A CENTRAL ANGLE OF 9°34'54" AN ARC LENGTH OF 94.82 FEET; THENCE S27°59'47"E 844.41 FEET; THENCE S89°23'25"W 235.81 FEET TO A POINT THAT IS 25.00 FEET WEST (BY PERPENDICULAR MEASUREMENT) OF THE NORTH-SOUTH MID-SECTION LINE OF AFORESAID SECTION 5; THENCE PARALLEL WITH SAID MID-SECTION LINE RUN S02°54'29"W 1000.00 FEET; THENCE PARALLEL WITH AND 25.00 FEET WEST (BY PERPENDICULAR MEASUREMENT) OF THE NORTH-SOUTH MID-SECTION LINE OF AFORESAID SECTION 8 RUN S01°12'31"W 2551.28 FEET TO THE AFORESAID NORTH RIGHT-OF-WAY LINE OF STATE ROAD 44; THENCE ALONG SAID RIGHT-OF-WAY LINE RUN S88°27'55"W 719.31 FEET TO THE POINT OF BEGINNING.

CURVE TABLE

| CURVE | DELTA | RADIUS | LENGTH |
|-------|-----------|----------|--------|
| C1 | 010°7'44" | 467.00' | 9.20' |
| C2 | 09°34'54" | 587.00' | 94.82' |
| C3 | 03°30'05" | 1033.00' | 63.13' |

LINE TABLE

| LINE | BEARING | DISTANCE |
|------|-------------|----------|
| L1 | S88°29'49"W | 84.07' |
| L2 | S54°05'00"E | 285.87' |
| L3 | N34°45'48"E | 338.97' |
| L4 | S65°38'58"W | 81.01' |
| L5 | N07°57'27"E | 215.66' |
| L6 | S32°02'33"E | 137.50' |
| L7 | S32°02'33"E | 137.50' |

- LEGEND -

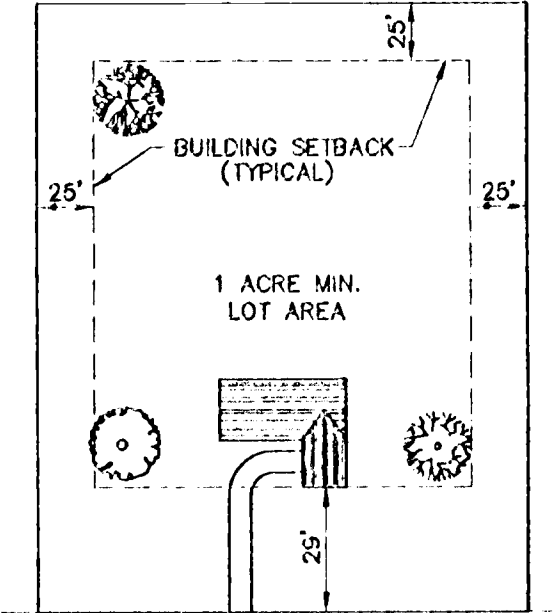
- DO REFERENCE TO DRAINAGE STRUCTURE
- ⊙ 8-1 SOIL BORING
- S.M.A. STORMWATER MANAGEMENT AREA
- D.E. DRAINAGE EASEMENT
- DRAINAGE PIPE
- CATCH BASIN
- ▭ MITERED END SECTION
- 100 EXISTING GRADE
- x 100.00 FINISH GRADE
- 130 DRAINAGE BASIN NUMBER
- DRAINAGE BASIN DIVIDE

- NOTES -

- ALL CORNER RADII AT LOT LINE ARE 25.00'
- ALL SOILS ARE OF HYDROLOGICAL GROUP A.

SUMMARY

| | |
|-----------------------|------------------------------|
| PROPOSED LAND USE | SINGLE FAMILY DETACHED UNITS |
| TOTAL AREA | 100.45 acres |
| TOTAL NUMBER OF LOTS | 40 |
| GROSS DENSITY | 0.40 lots per acre |
| PRESENT ZONING | PUD |
| LOT SIZE | 1.00 acre minimum |
| TOTAL LENGTH OF ROADS | 0.98 miles |
| WATER | INDIVIDUAL WELLS |
| SANITARY SEWAGE | INDIVIDUAL SEPTIC TANKS |



DRAINAGE BASINS

| BASIN NUMBER | DRAINAGE AREA |
|--------------|---------------|
| B0 | 14.5 ac. |
| B1 | 83.3 ac. |
| B2 | 73.7 ac. |
| B3 | 50.0 ac. |
| B4 | 9.1 ac. |
| B5 | 1.9 ac. |
| B6 | 4.1 ac. |

TYPICAL LOT

NOTES:

- TREES MUST BE 1" MINIMUM DIAMETER 6" ABOVE THE UPPERMOST ROOTS 5 TO 7 GALLON CONTAINERIZED FLORIDA #1 GRADE OR BETTER 3 MIN REQUIRED

MASTER PLAN
Cross-Tie Ranch Phase III

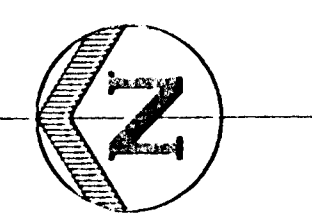
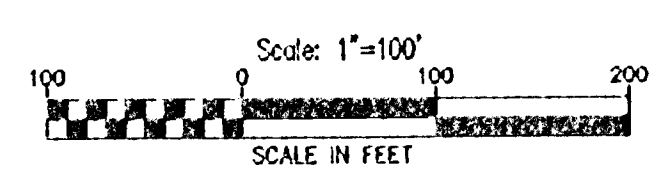
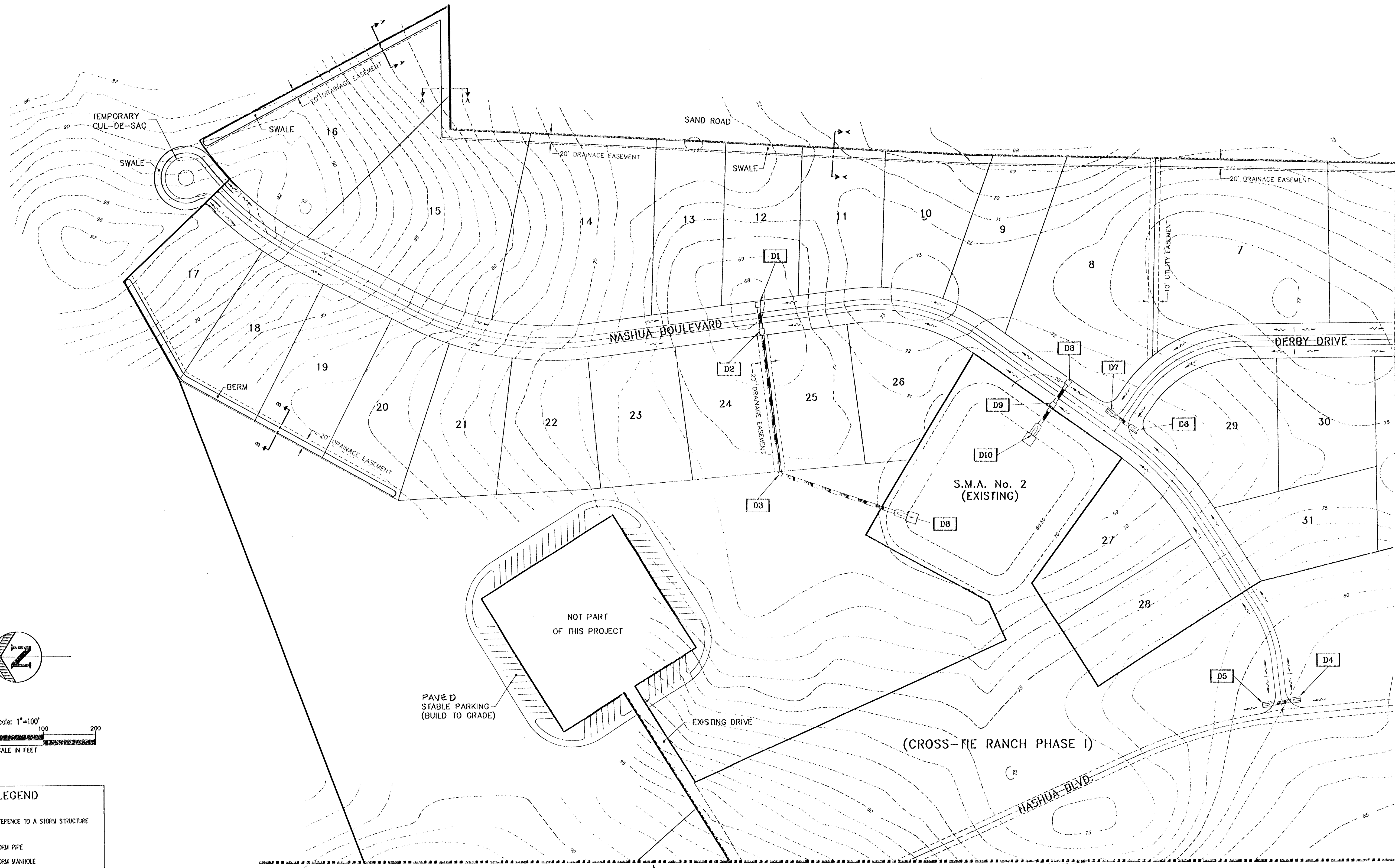
Sections 5 and 8, Township 19 South, Range 28 East, Lake County, Florida

ENGINEERS
SURVEYORS
PLANNERS
AND
LAND ATTORNEYS

OWNER/DEVELOPER: CROSS-TIE RANCH LIMITED PARTNERSHIP 518 PLEASANT STREET NORTHAMPTON, MA 01060

RECEIVED
JAN 24 1994
4-069-0296
RECORDS
ORLANDO

CHECKED BY: PROJECT NO: 921088.001
DATE: JAN. 1994
DRAWN BY: J.W.M.
Sht. 2 of 10
FILE NAME: CROSS003.DWG



LEGEND

| | |
|--|--------------------------------|
| | REFERENCE TO A STORM STRUCTURE |
| | STORM PIPE |
| | STORM MANHOLE |
| | STORM INLET |
| | MITERED END SECTION |
| | DRAINAGE FLOW ARROW |

MATCH LINE SEE SHEET 4 FOR CONTINUATION

MATCH LINE SEE SHEET 5 FOR CONTINUATION

| DATE | REVISION |
|------|----------|
| 1 | |
| 2 | |
| 3 | |
| 4 | |
| 5 | |
| 6 | |
| 7 | |
| 8 | |

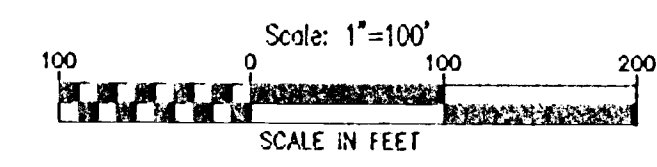
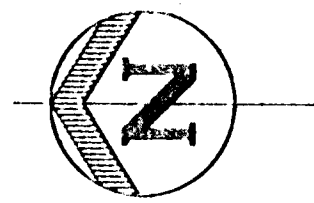
MASTER DRAINAGE PLAN
Cross-Tie Ranch Phase III
 Sections 5 and 8, Township 19 South, Range 28 East, Lake County, Florida

PEARCE ENGINEERS
 SURVEYORS & PLANNERS
 240 North Orange Avenue, Orlando, Florida 32776
 OWNER/DEVELOPER:
CROSS-TIE RANCH LIMITED PARTNERSHIP
 515 PLEASANT STREET
 NORTHAMPTON, MA 01060

JAN 24 1994
 4-20690296
 RECORDS
 ORLANDO

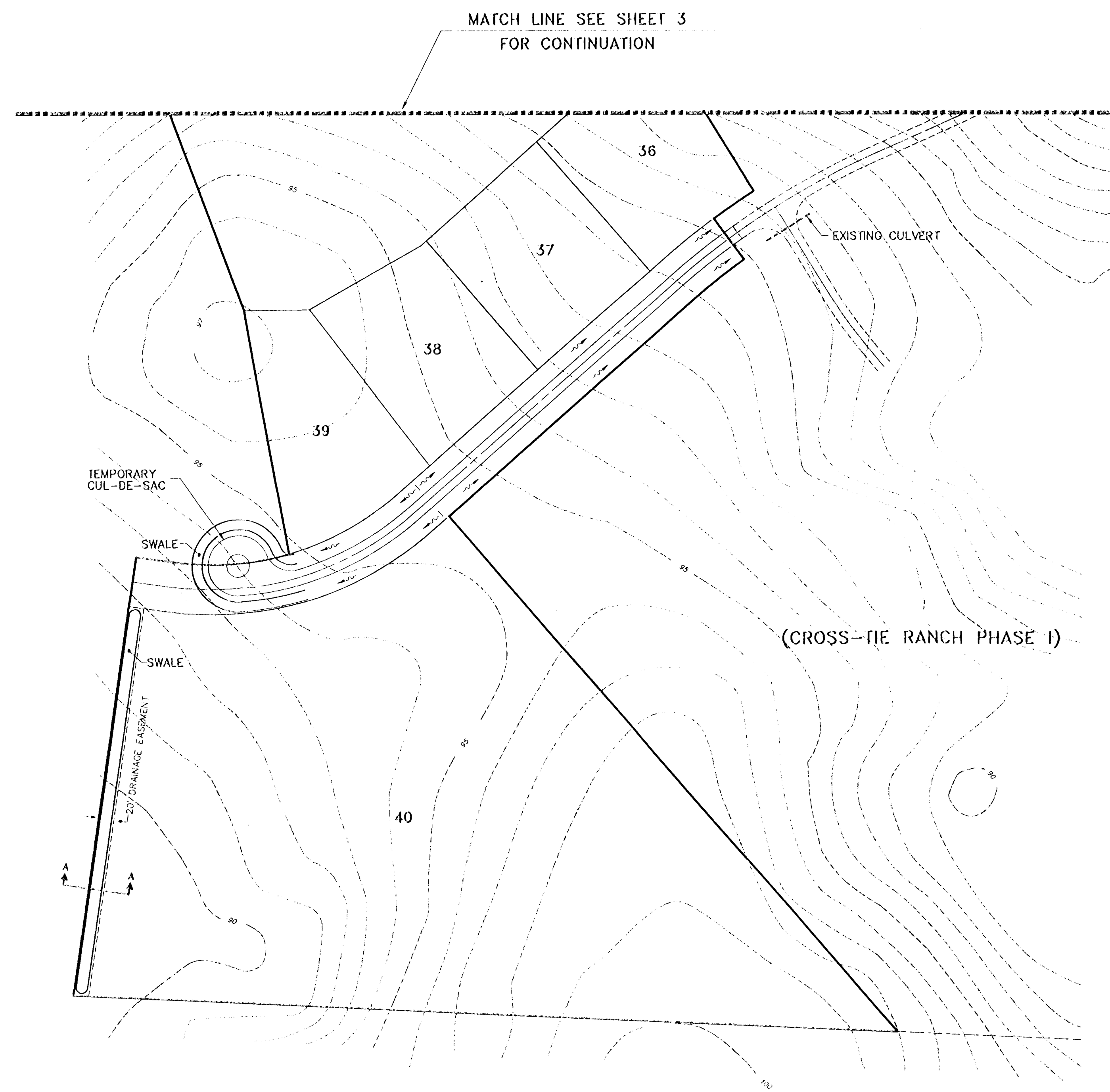
CHECKED BY: 921088.001
 PROJECT NO: 921088.001
 DATE: JAN. 1994
 DRAWN BY: J.W.M.
Sht. 3 of 10
 FILE NAME: CROSS004.DWG

WMM
 1/21/94



LEGEND

- DO REFERENCE TO A STORM STRUCTURE
- STORM PIPE
- STORM MANHOLE
- STORM INLET
- MITERED END SECTION
- DRAINAGE FLOW ARROW



| NO. | DATE | REVISION |
|-----|------|----------|
| 1 | | |
| 2 | | |
| 3 | | |
| 4 | | |
| 5 | | |
| 6 | | |
| 7 | | |
| 8 | | |

MASTER DRAINAGE PLAN
Cross-Tie Ranch Phase III
Sections 5 and 8, Township 19 South, Range 28 East, Lake County, Florida

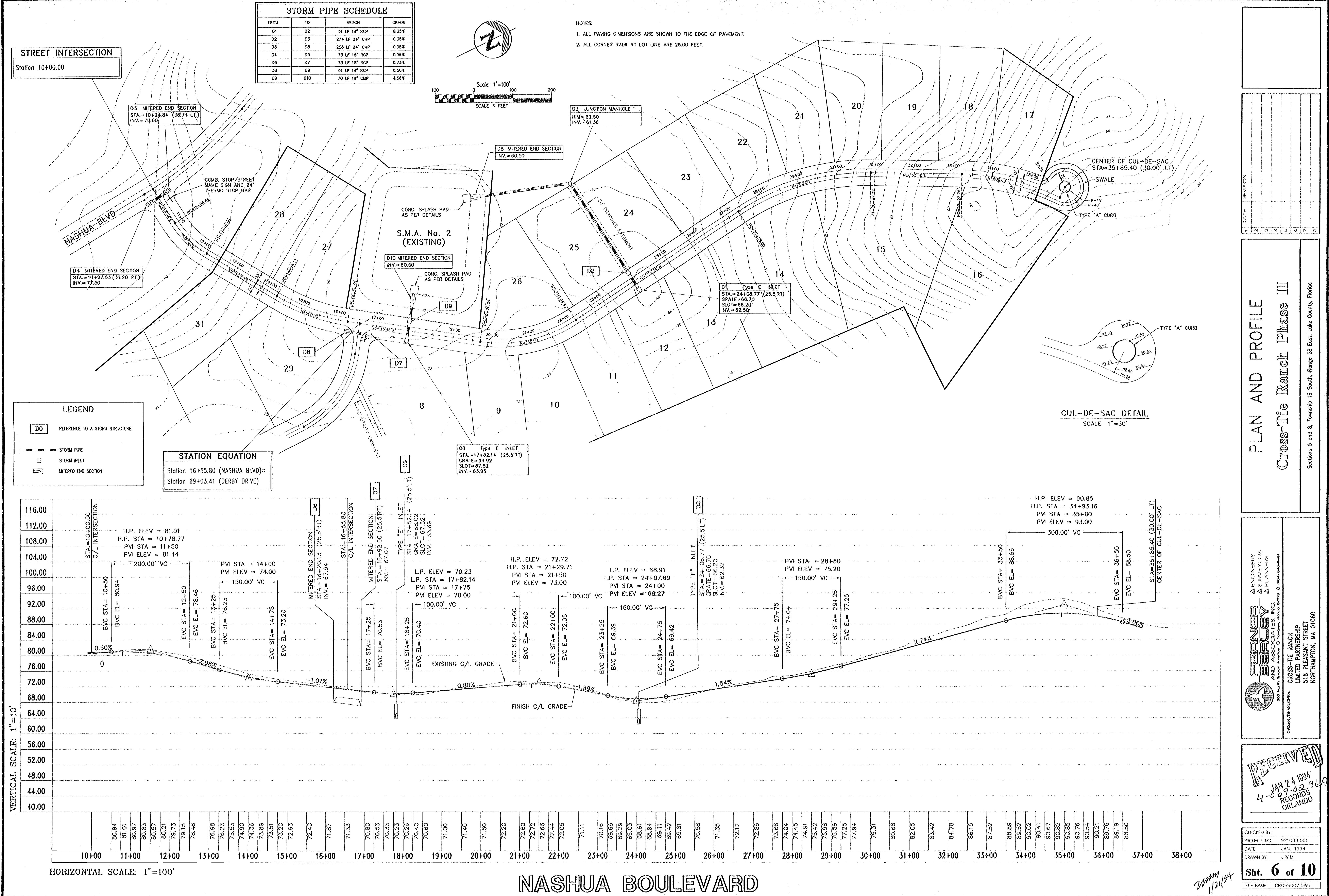
PERNER ENGINEERS
SURVEYORS & PLANNERS
300 North Orange Avenue, O'Connell Tower, Suite 2778, O'Connell Center, Orlando, Florida 32816
305-222-1111

CROSS-TIE RANCH LIMITED PARTNERSHIP
518 PLEASANT STREET
NORTHAMPTON, MA 01060

RECEIVED
JAN 24 1991
4-069-0296A
RECORDS
ORLANDO

CHECKED BY: _____
PROJECT NO.: 221088.001
DATE: JAN. 1991
DRAWN BY: J.W.M.
Sht. 5 of 10
FILE NAME: CROSS008.DWG

J.W.M.
1/24/91



STORM PIPE SCHEDULE

| FROM | TO | REACH | GRADE |
|------|-----|----------------|-------|
| D1 | D2 | 51 LF 18" RCP | 0.35% |
| D2 | D3 | 274 LF 24" CMP | 0.35% |
| D3 | D8 | 258 LF 24" CMP | 0.35% |
| D4 | D5 | 73 LF 18" RCP | 0.56% |
| D6 | D7 | 73 LF 18" RCP | 0.73% |
| D8 | D9 | 51 LF 18" RCP | 0.92% |
| D9 | D10 | 70 LF 18" CMP | 4.26% |

- NOTES:**
- ALL PAVING DIMENSIONS ARE SHOWN TO THE EDGE OF PAVEMENT.
 - ALL CORNER RADII AT LOT LINE ARE 25.00 FEET.

STREET INTERSECTION
Station 10+00.00

D5 MITERED END SECTION
STA=10+24.84 (38.74 LT)
INV.=78.90

D3 JUNCTION MANHOLE
RIM=69.50
INV.=61.56

D4 MITERED END SECTION
STA=10+27.53 (36.20 RT)
INV.=77.50

D10 MITERED END SECTION
INV.=60.50

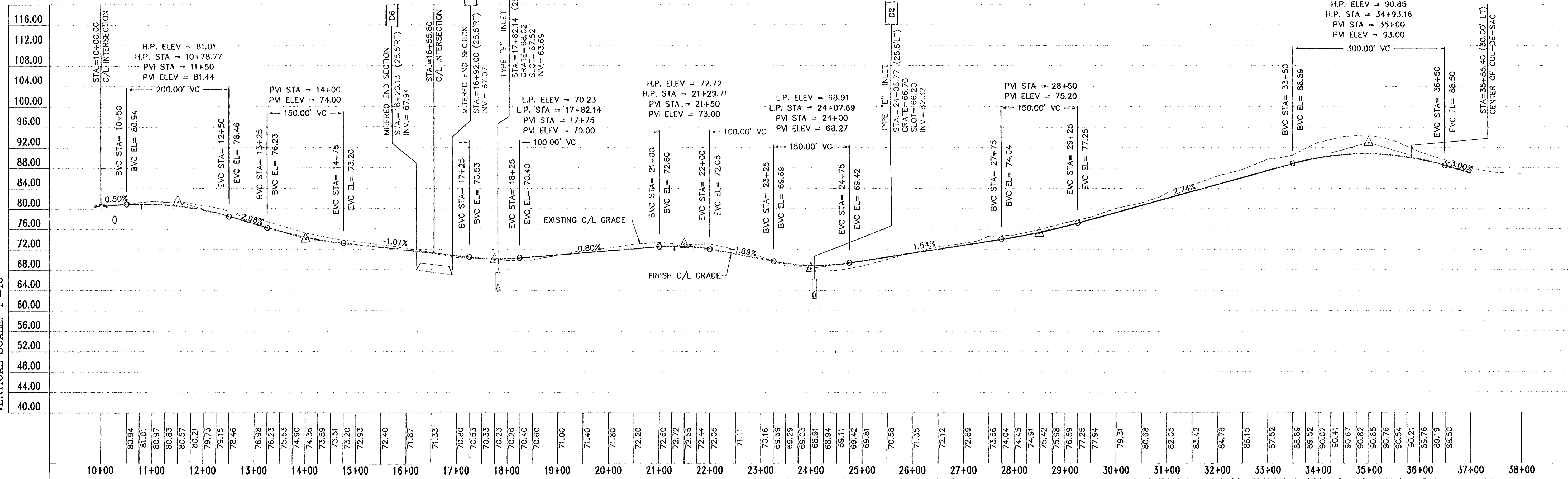
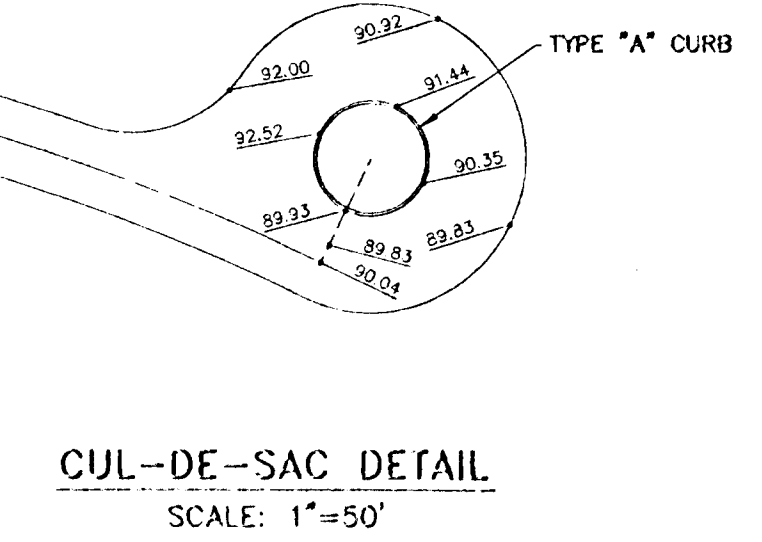
D1 Type E INLET
STA=24+08.77 (25.5 RT)
GRADE=66.70
SLOT=68.20
INV.=62.50

CENTER OF CUL-DE-SAC
STA=35+85.40 (30.00' LT)
SWALE
TYPE "A" CURB

LEGEND

- D10 REFERENCE TO A STORM STRUCTURE
- STORM PIPE
- STORM INLET
- ▭ MITERED END SECTION

STATION EQUATION
Station 16+55.80 (NASHUA BLVD)=
Station 69+03.41 (DERBY DRIVE)



DATE: _____
REVISION: _____

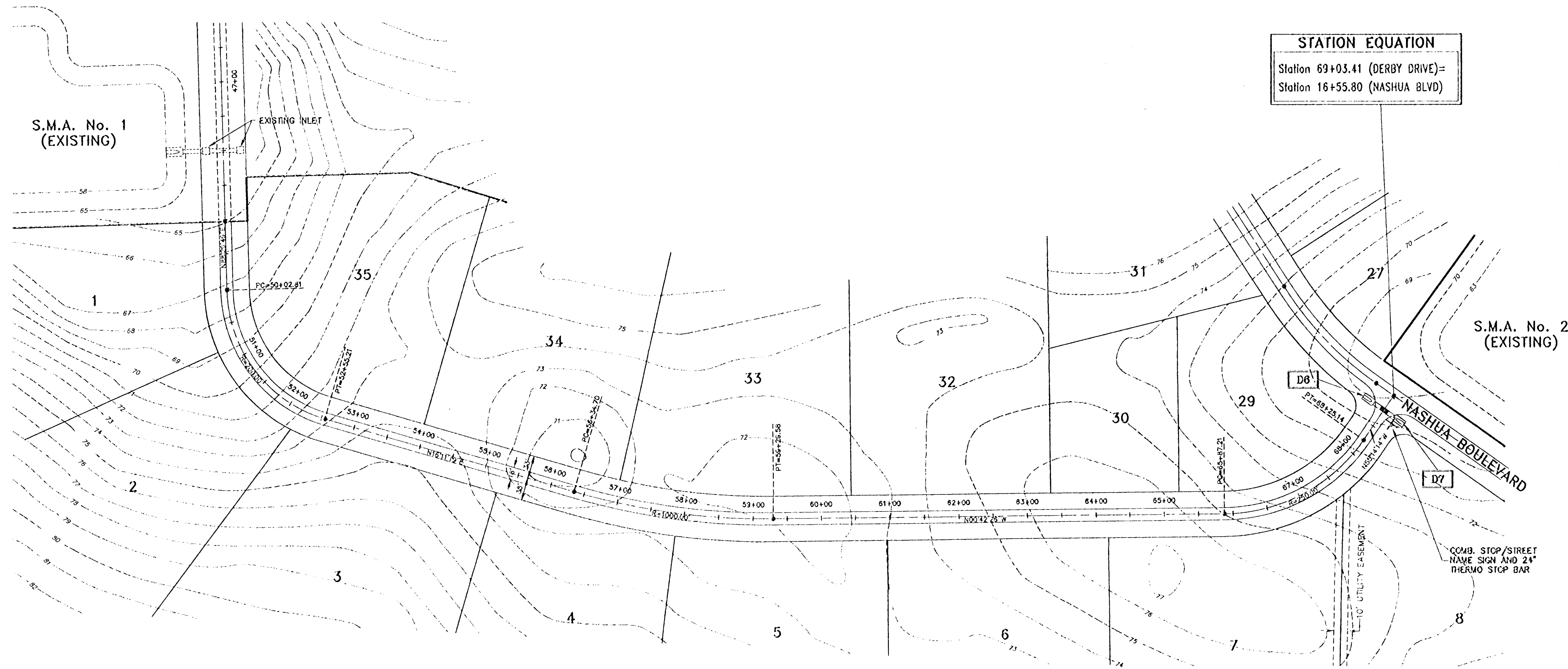
PLAN AND PROFILE
Cross-Tie Ranch Phase III
Sections 5 and 6, Township 19 South, Range 28 East, Lake County, Florida

ENGINEERS
SURVEYORS
PLANNERS

FORNEY
AND ASSOCIATES, INC.
300 North Lincoln Avenue, Ocala, Florida 32778

OWNER/DEVELOPER:
CROSS-TIE RANCH
LIMITED PARTNERSHIP
518 PLEASANT STREET
NORTHAMPTON, MA 01060

RECEIVED
JAN 24 1994
4-069-0296
RECORDS
ORLANDO



N

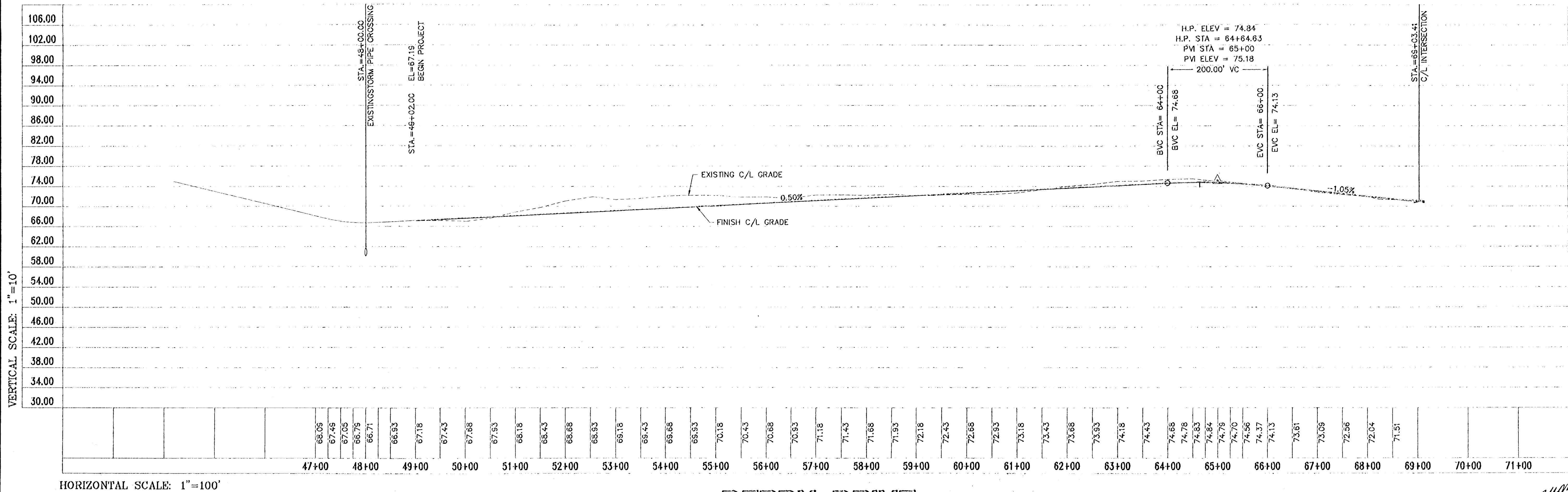
Scale: 1"=100'

SCALE IN FEET

LEGEND

- DØ REFERENCE TO A STORM STRUCTURE
- STORM PIPE
- STORM INLET
- MITERED END SECTION

- NOTES:
1. ALL PAVING DIMENSIONS ARE SHOWN TO THE EDGE OF PAVEMENT.
 2. ALL CORNER RADII AT LOT LINE ARE 25.00 FEET.



DERBY DRIVE

PLAN AND PROFILE
Cross-Tie Ranch Phase III

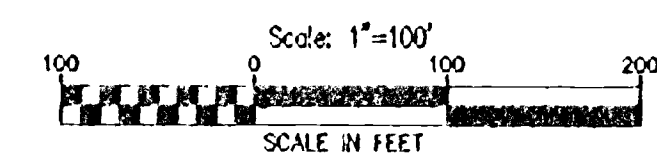
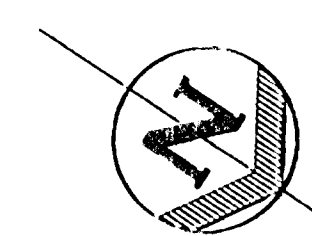
OWNERS/DEVELOPER:
CROSS-TIE RANCH
LIMITED PARTNERSHIP
518 PLEASANT STREET
NORTHAMPTON, MA 01060

ENGINEERS
PERNER
BARLEY
AND ASSOCIATES, INC.
PLANNERS
300 North Shore Avenue, O. Town, Florida 32778 O Regd. 343-4444

RECEIVED
JAN 24 1994
4-069-02969
RECORDS
ORLANDO

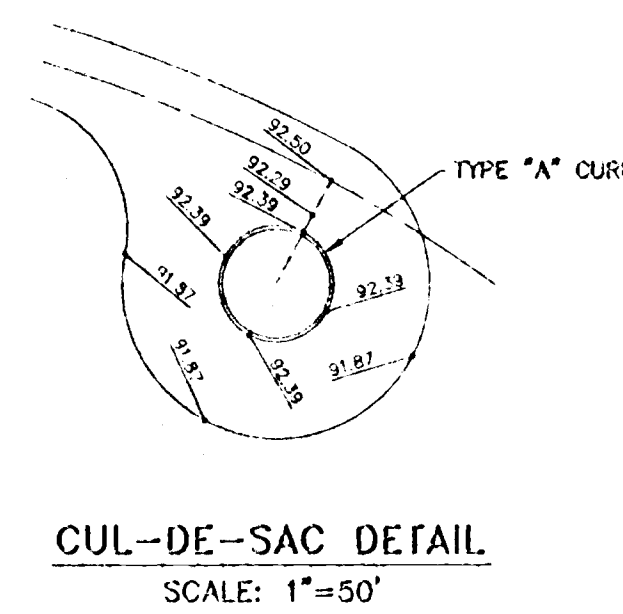
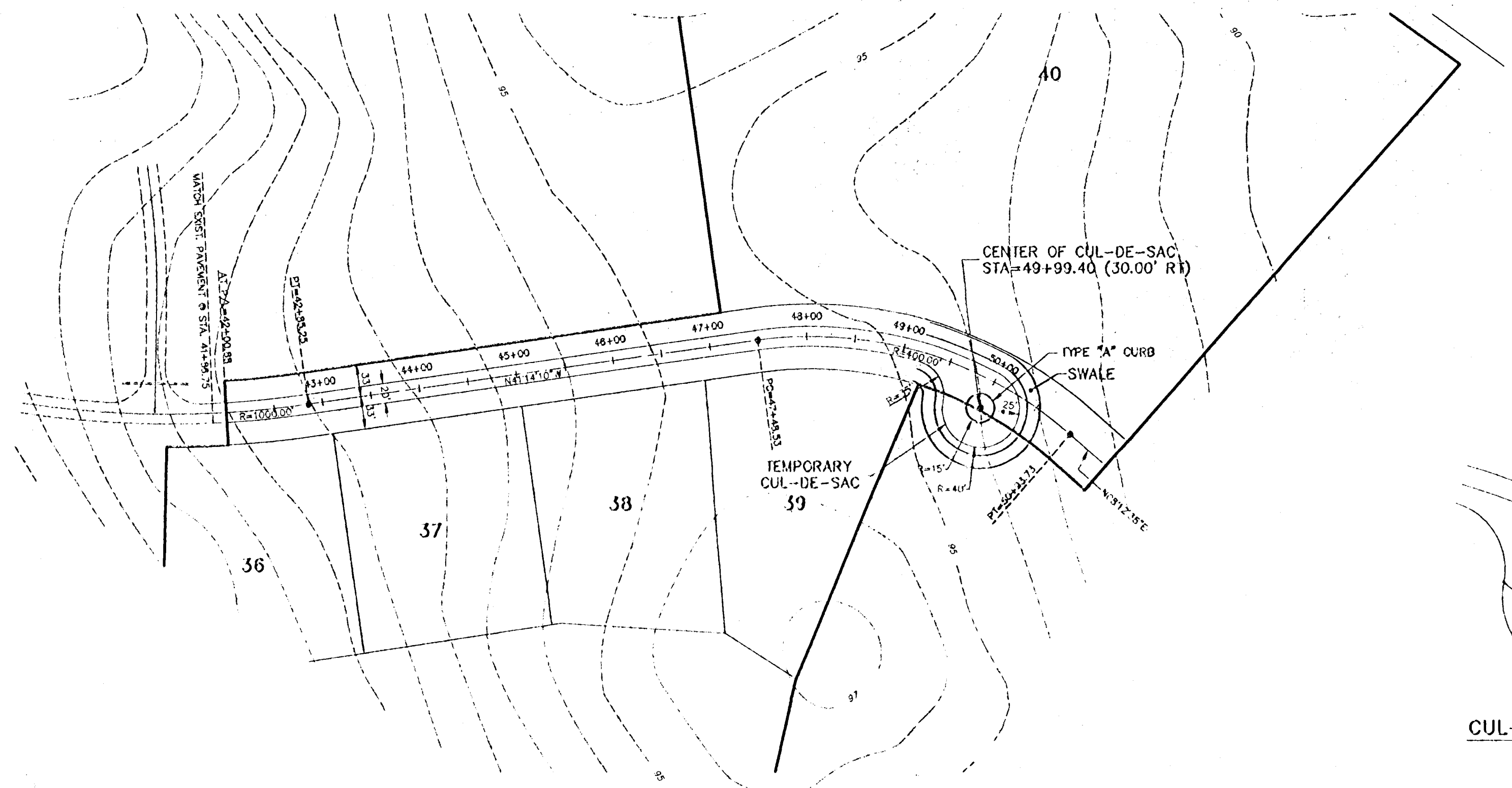
| | |
|------------------------|--------------|
| CHECKED BY: | PROJECT NO.: |
| DATE: | DRAWN BY: |
| Sht. 7 of 10 | |
| FILE NAME: CROSS08.DWG | |

JWM
1/21/94

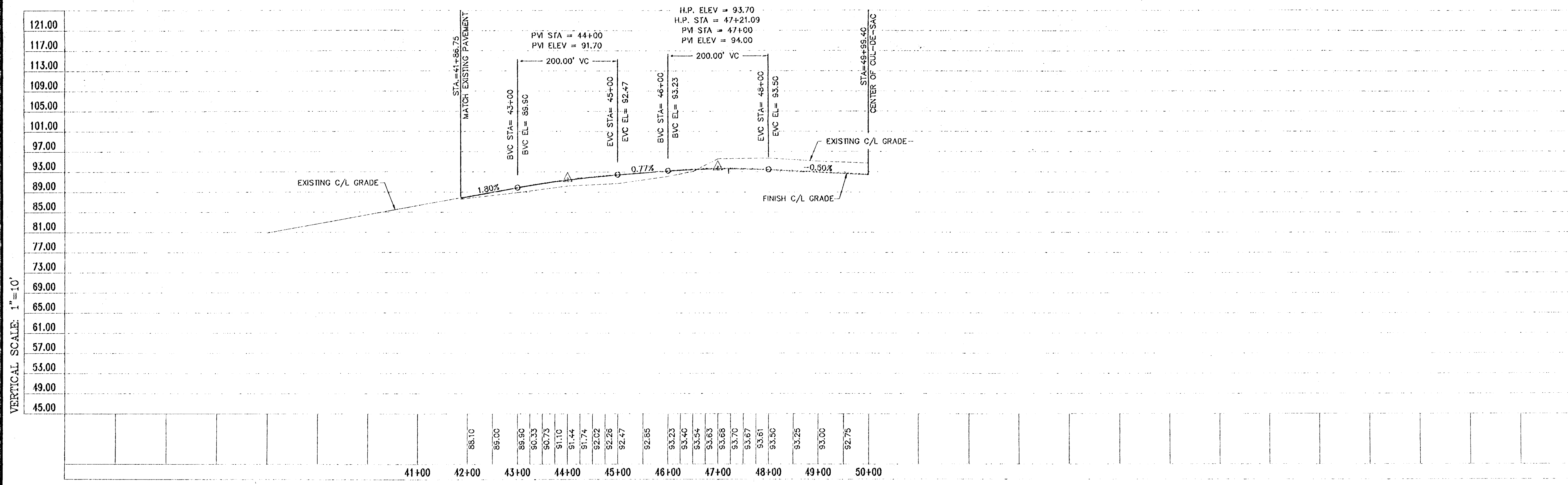


LEGEND

- DO REFERENCE TO A STORM STRUCTURE
- STORM PIPE
- STORM INLET
- MITERED END SECTION



- NOTES:**
1. ALL PAVING DIMENSIONS ARE SHOWN TO THE EDGE OF PAVEMENT.
 2. ALL CORNER RADII AT LOT LINE ARE 25.00 FEET.



PLAN AND PROFILE
Cross-Tie Ranch Phase II
 Sections 5 and 6, Township 19 South, Range 28 East, Lake County, Florida.

BARBY
 ENGINEERS
 SURVEYORS
 PLANNERS
 AND ASSOCIATES, INC.
360 North Brainerd Avenue • Tallahassee, Florida 32310 • (904) 244-4441

OWNER/DEVELOPER:
 CROSS-TIE RANCH
 LIMITED PARTNERSHIP
 518 PLEASANT STREET
 NORTHAMPTON, MA 01060

RECEIVED
 JAN 24 1994
 4-069-02 967
 RECORDS
 ORLANDO

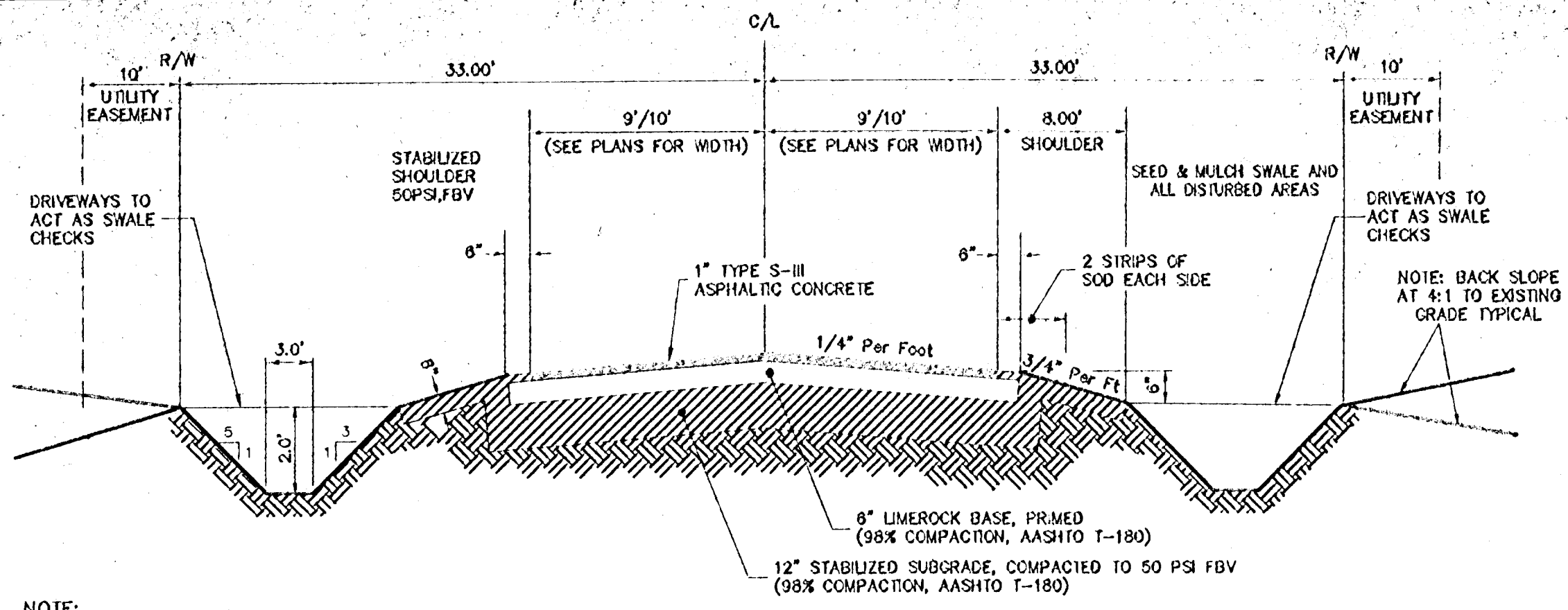
| | |
|--------------|------------|
| CHECKED BY: | |
| PROJECT NO.: | 921088.001 |
| DATE: | JAN. 1994 |
| DRAWN BY: | J.W.M. |

VERTICAL SCALE: 1"=10'

HORIZONTAL SCALE: 1"=100'

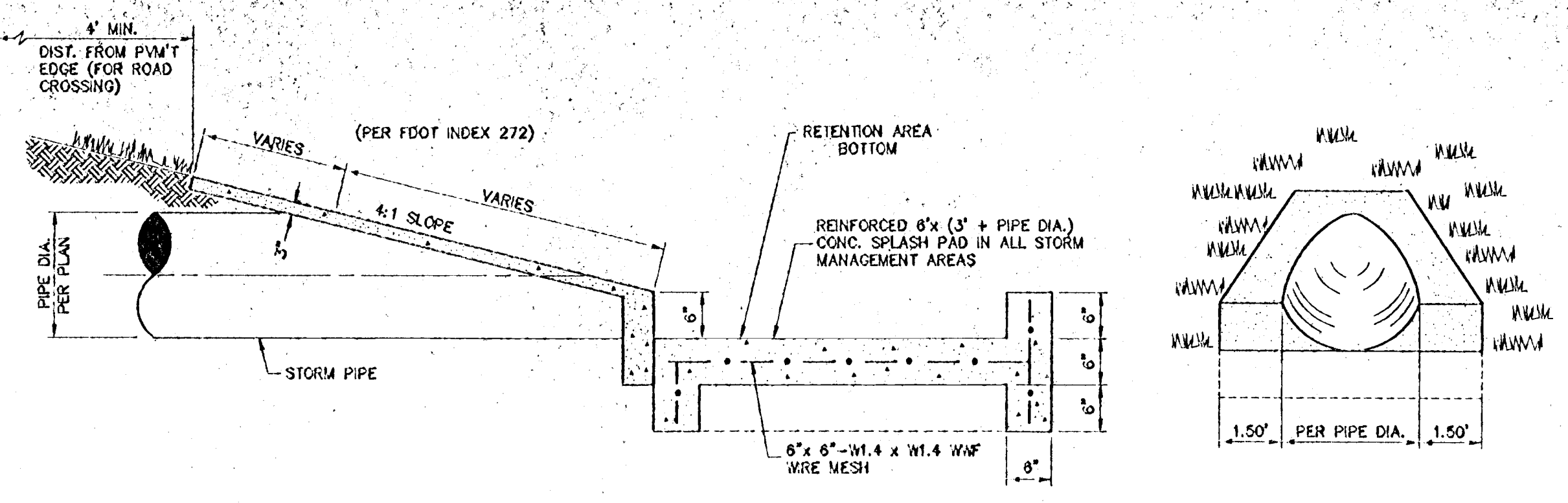
NASHUA BOULEVARD

JMM
 1/21/94

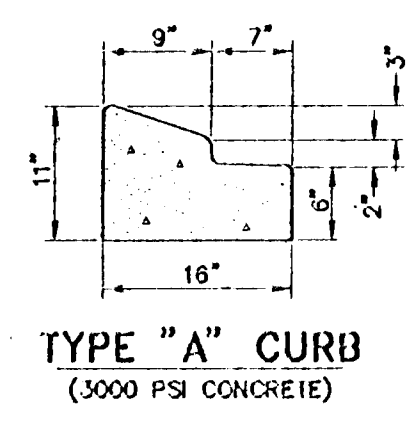


NOTE: SOD ALL UNPAVED DISTURBED AREAS WHERE C/L PROFILE EXCEEDS 3X

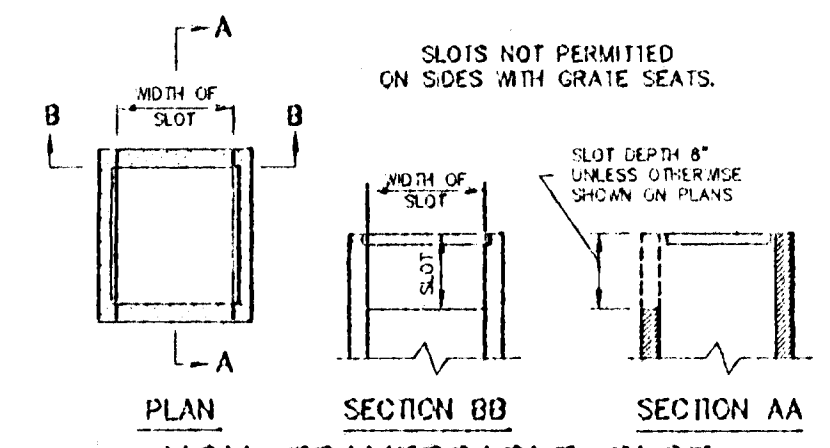
TYPICAL ROAD SECTION
NOT TO SCALE



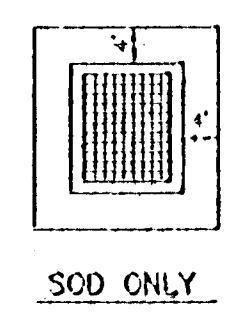
MITERED END SECTION AND SPLASH PAD



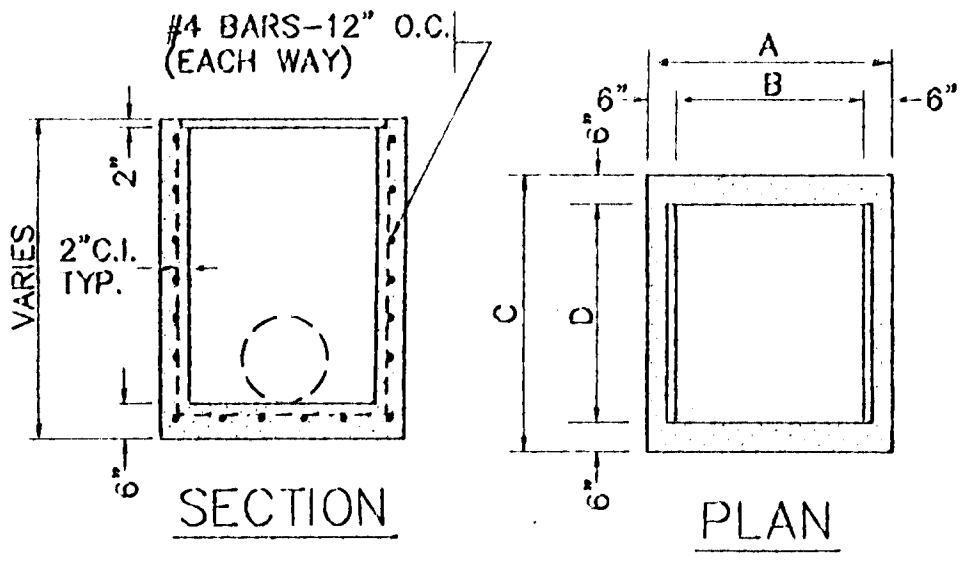
TYPE "A" CURB
(3000 PSI CONCRETE)



NON-TRAVERSABLE SLOT
F.D.O.T. INDEX #232

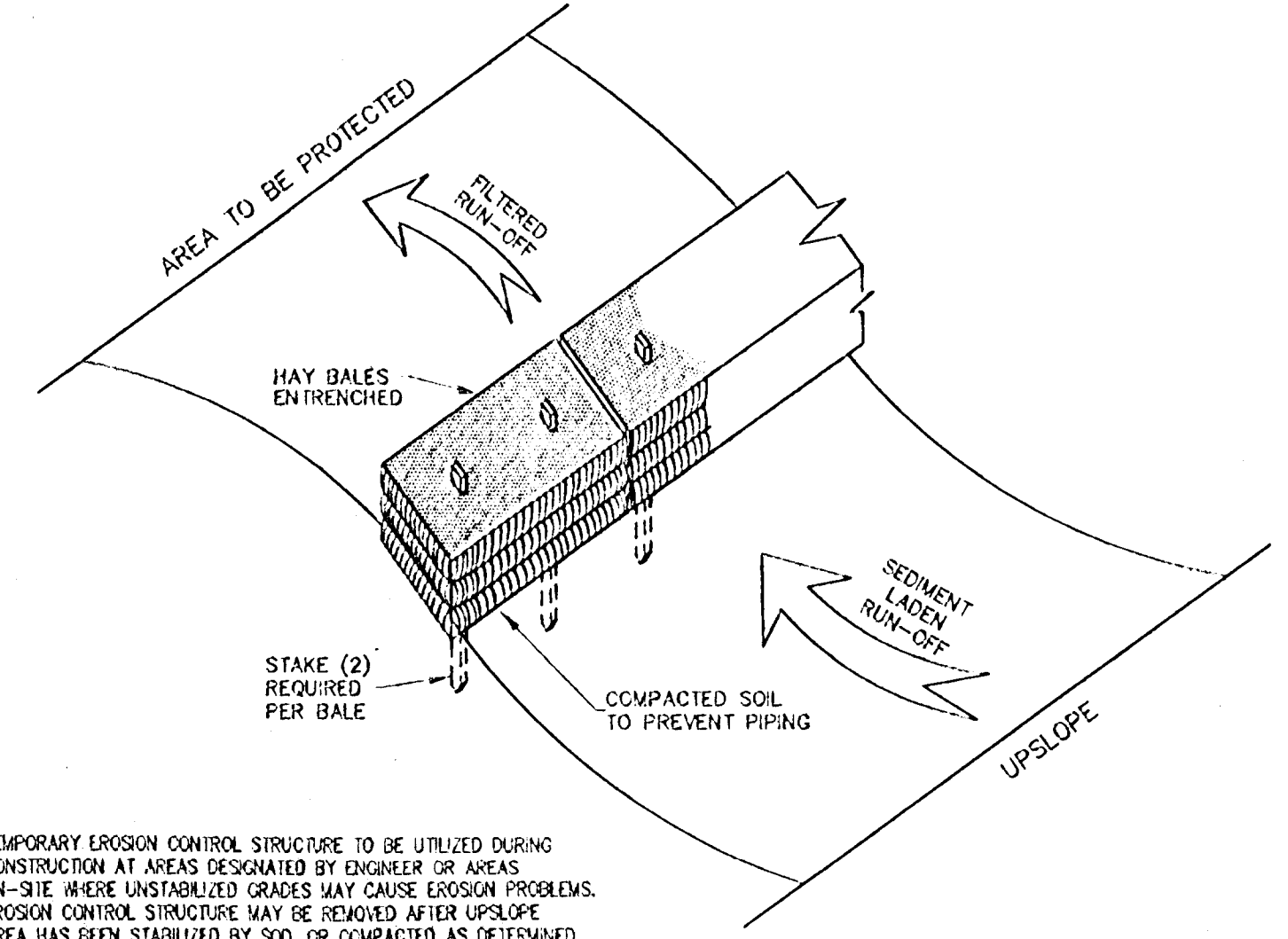


SODDING FOR INLETS WITH
NON-TRAVERSABLE SLOTS
F.D.O.T. INDEX #232



TYPE C, D & E INLETS
F.D.O.T. INDEX #232

| INLET TYPE | DIMENSIONS | | | |
|------------|------------|-------|-------|-------|
| | A | B | C | D |
| C | 3'-0" | 2'-0" | 4'-1" | 3'-1" |
| D | 5'-1" | 4'-1" | 4'-1" | 3'-1" |
| E | 4'-0" | 3'-0" | 5'-6" | 4'-6" |



- NOTES:
- TEMPORARY EROSION CONTROL STRUCTURE TO BE UTILIZED DURING CONSTRUCTION AT AREAS DESIGNATED BY ENGINEER OR AREAS ON-SITE WHERE UNSTABILIZED GRADES MAY CAUSE EROSION PROBLEMS. EROSION CONTROL STRUCTURE MAY BE REMOVED AFTER UPSLOPE AREA HAS BEEN STABILIZED BY SOD, OR COMPACTED AS DETERMINED BY CONTRACTOR.
 - ALTERNATE EROSION CONTROL STRUCTURE: WOVEN FILTER FABRIC SET FENCE IN ACCORDANCE WITH F.D.O.T. INDEX #202. FILTER FABRIC IN ACCORDANCE WITH SECTION 285 OF THE F.D.O.T. STANDARD SPECIFICATIONS.

EROSION CONTROL STRUCTURE

THE FOLLOWING LIST REPRESENTS A BASIC EROSION AND SEDIMENT CONTROL PROGRAM WHICH IS TO BE IMPLEMENTED TO HELP PREVENT OFF-SITE SEDIMENTATION DURING AND AFTER CONSTRUCTION OF THE PROJECT.

PERMANENT EROSION AND SEDIMENT CONTROL MEASURES SHALL BE INSTALLED AT THE EARLIEST PRACTICAL TIME CONSISTENT WITH GOOD CONSTRUCTION PRACTICES. ONE OF THE FIRST CONSTRUCTION ACTIVITIES SHOULD BE THE PLACEMENT OF PERMANENT AND TEMPORARY EROSION AND SEDIMENT CONTROL MEASURES AROUND THE PERIMETER OF THE PROJECT OR THE INITIAL WORK AREA TO PROTECT THE PROJECT, ADJACENT PROPERTIES AND WATER RESOURCES.

TEMPORARY EROSION AND SEDIMENT CONTROL MEASURES SHALL BE COORDINATED WITH PERMANENT MEASURES TO ASSURE ECONOMICAL, EFFECTIVE AND CONTINUOUS CONTROL THROUGHOUT THE CONSTRUCTION PHASE. TEMPORARY MEASURES SHALL NOT BE CONSTRUCTED FOR EXPEDIENCY IN LIEU OF PERMANENT MEASURES.

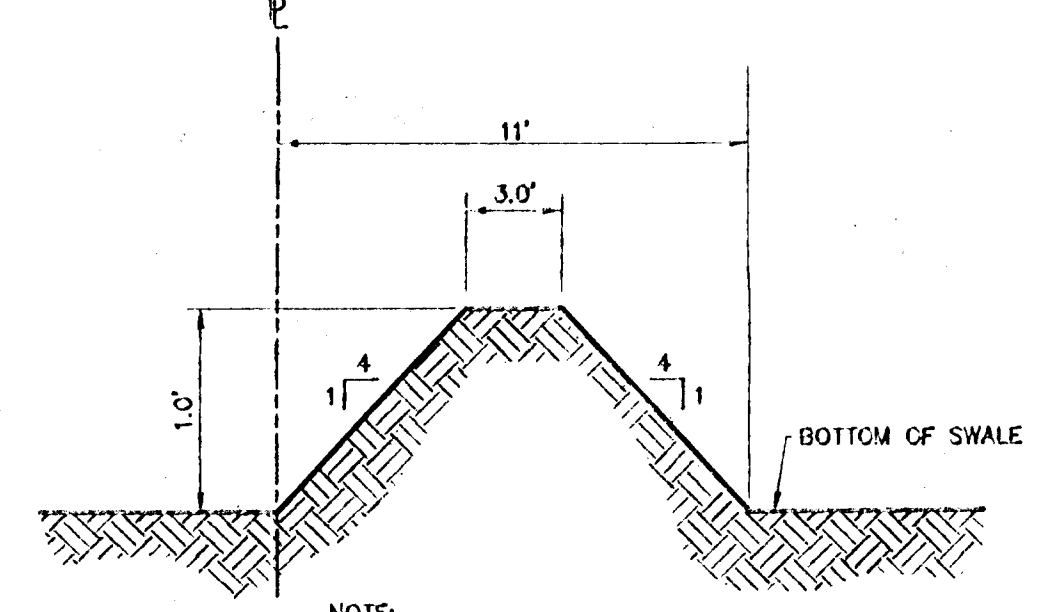
EROSION AND SEDIMENT CONTROL MEASURES SHALL BE ADEQUATELY MAINTAINED TO PERFORM THEIR INTENDED FUNCTION DURING CONSTRUCTION OF THE PROJECT.

NECESSARY REPAIRS TO BARRIERS OR REPLACEMENT OF BARRIERS SHALL BE ACCOMPLISHED PROMPTLY.

SEDIMENT DEPOSITS SHOULD BE REMOVED AFTER EACH RAINFALL. THEY MUST BE REMOVED WHEN THE LEVEL OF DEPOSITION REACHED APPROXIMATELY ONE-HALF THE HEIGHT OF THE BARRIER.

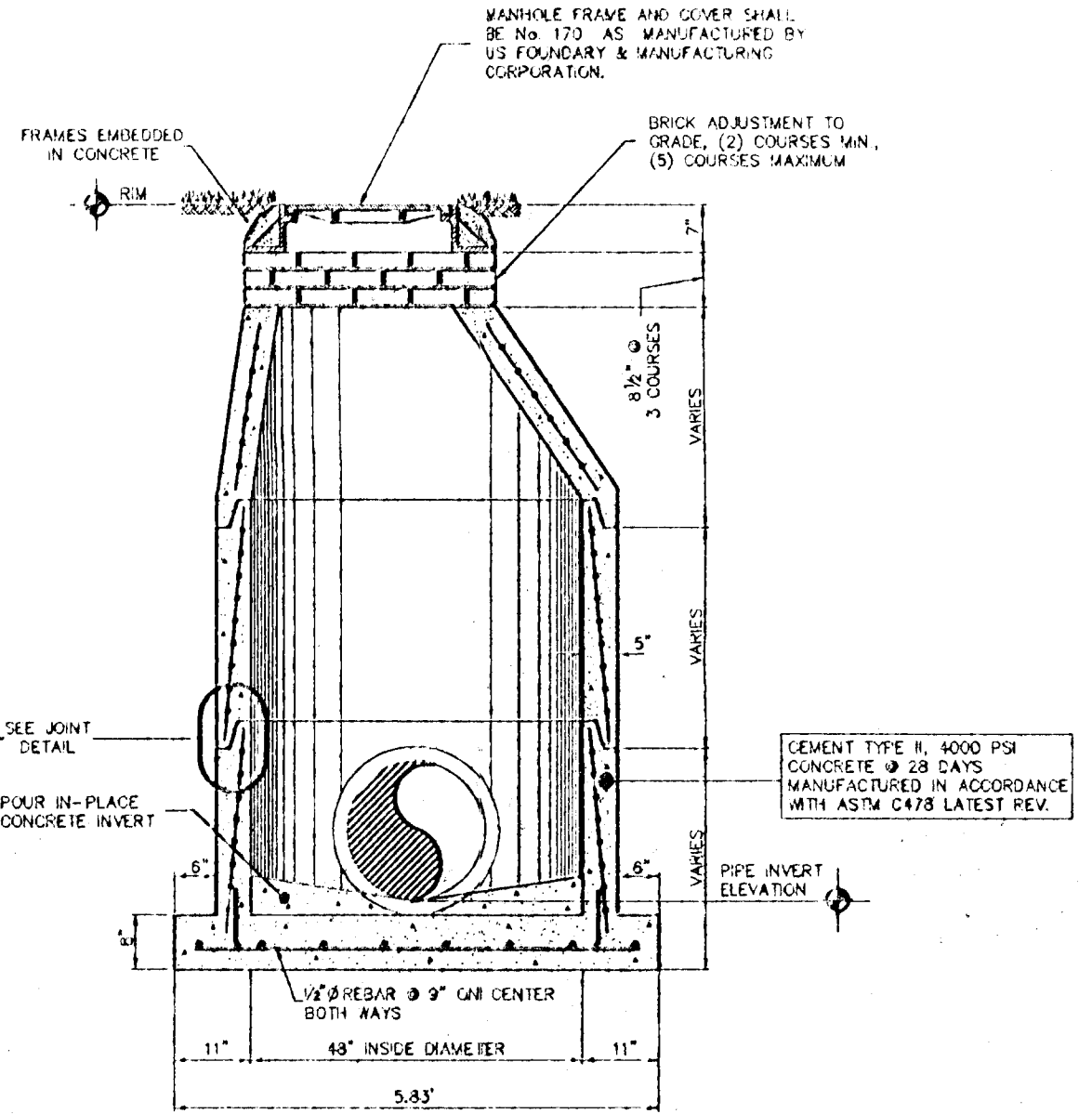
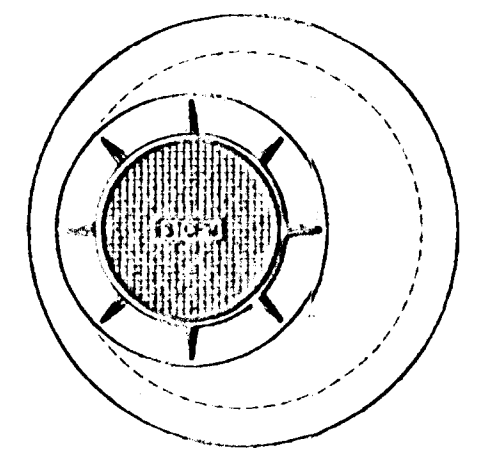
MATERIAL FROM SEDIMENT TRAPS SHALL NOT BE STOCKPILED OR DISPOSED OF IN A MANNER WHICH MAKES THEM READILY SUSCEPTIBLE TO BEING WASHED INTO ANY WATERCOURSE BY PLUNGE OR HIGH WATER.

ANY SEDIMENT DEPOSITS REMAINING IN PLACE AFTER THE BARRIERS ARE NO LONGER REQUIRED SHALL BE DRESSED TO CONFORM TO THE EXISTING GRADE, PREPARED AND SEED.



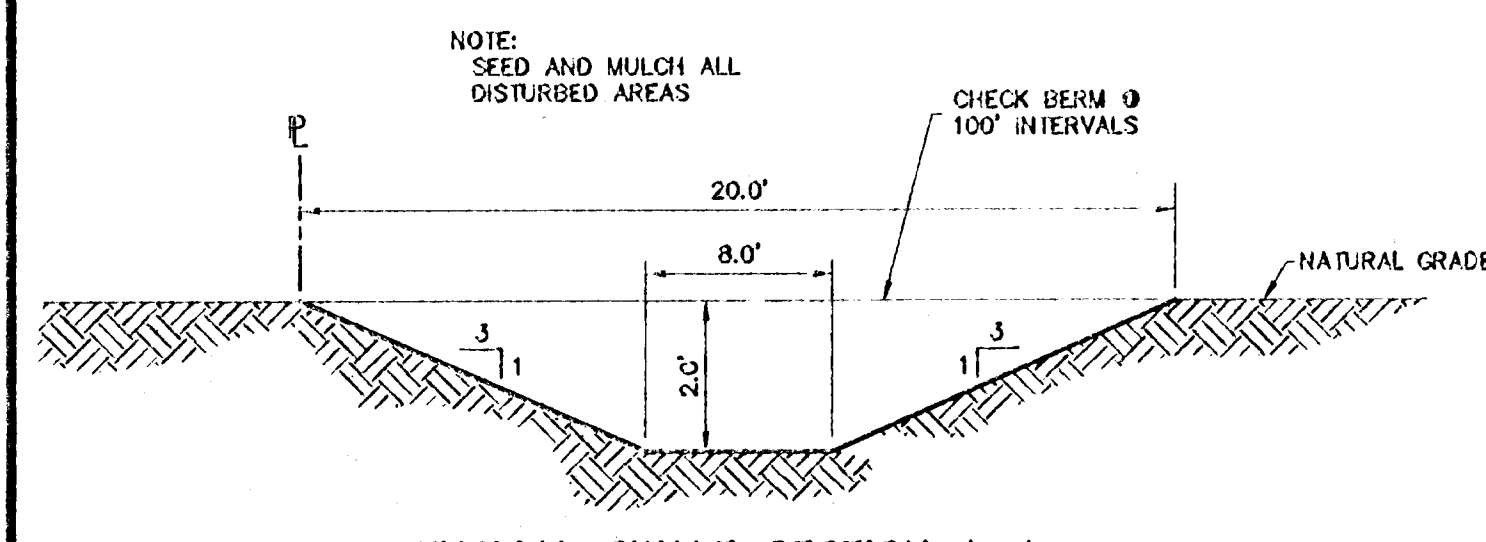
TYPICAL BERM SECTION B-B
NOT TO SCALE

MANHOLE NOTES:
1. SEAL ALL PIPE OPENINGS IN PRECAST MANHOLE WITH "EMUCO" NON-SHINK GROUT OR APPROVED EQUAL.

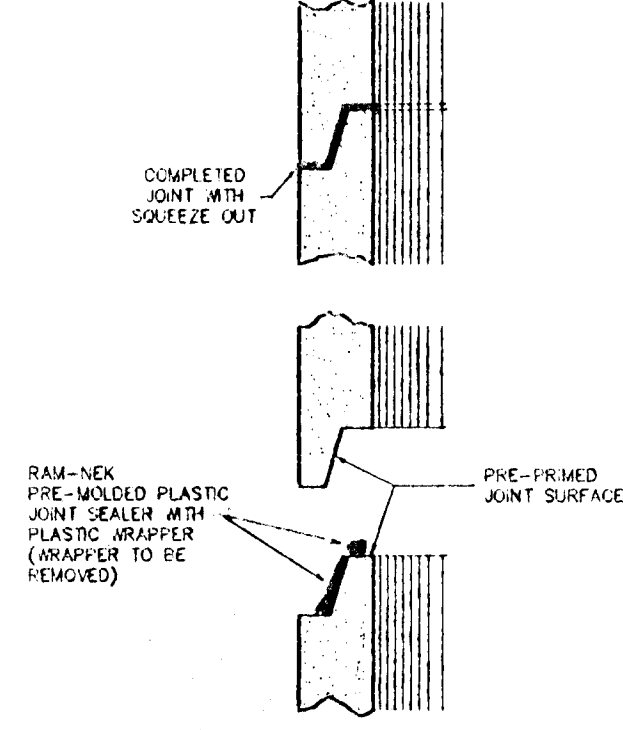


DRAINAGE PRECAST MANHOLE DETAIL

- ALTERNATE-PCAST MANHOLE TOPS
- APPROVED CONCENTRIC GLOBE DESIGN MAY BE USED AS AN ALTERNATE.
 - APPROVED FLAT SLAB TOP MAY BE USED AS AN ALTERNATE (4" MIN. THICKNESS).



TYPICAL SWALE SECTION A-A
NOT TO SCALE



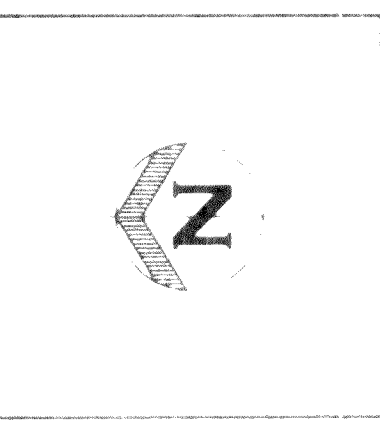
TONGUE AND GROOVE JOINT
TYPICAL DETAIL

CROSS-TIE RANCH Phase III
 DRAINAGE DETAILS
 Sections 5 and 6, Township 19 South, Range 28 East, Lake County, Florida

ENGINEERS
 SURVEYORS
 PLANNERS
 AND ASSOCIATES, INC.
 518 PLEASANT STREET
 NORTHAMPTON, MA 01060

RECEIVED
 JAN 24 1994
 4-06 9-02 96A
 RECORDS
 ORLANDO

CHECKED BY: _____
 PROJECT NO: 921038.001
 DATE: JAN. 1994
 DRAWN BY: J.W.M.
 Sht. 9 of 10
 FILE NAME: CROSSC10.DWG



AERIAL

CROSS-TIE RANCH, PHASE III

5/18 PLEASANT STREET
NORTHAMPTON, MA 01060

SARNEY & SARNEY

CROSS-TIE RANCH
LIMITED PARTNERSHIP
5/18 PLEASANT STREET
NORTHAMPTON, MA 01060

RECORDED

JAN 24 1994
4-069-02 96A
RECORDS
ORLANDO

Sht. 10 of 10

60

65

60

65
78

78

44

PHASE I

10 9 8 7 6 5 4 3 2 1

PHASE II

11 12 13 14 15 16 17 18 19 20

PHASE III

21 22 23 24 25 26 27 28 29 30 31 32 33 34 35

Handwritten signature and date

1/21/94

Cross-Tie Ranch

DEVELOPER:
VENTURES PARTNERS I
CROSS-TIE RANCH
LIMITED PARTNERSHIP
 131 WEST MAIN STREET
 518 PLEASANT STREET
 NORTHAMPTON, MA 01060
 (904) 343-1232

OWNER:
MASTER PLAN
 Sections 5 and 8, Township 19 South,
 Range 28 East, Lake County, Florida

ENGINEERS
FARNER BARLEY
 AND ASSOCIATES, INC.
 350 North Sinclair Avenue
 Ocala, Florida 32778
 (904) 343-8481

| | | | |
|----------|-----------|--------------|---------------|
| DATE: | JULY 1992 | REVISION: | 2 |
| SCALE: | 1" = 400' | PROJECT NO.: | 921088 |
| CHECKED: | R.E.F. | DATE: | SEPT 11, 1992 |
| DRAWN: | J.W.M. | REVISION: | 1 |

DESCRIPTION

THAT PART OF GOVERNMENT LOTS 1 AND 2 IN SECTION 5, TOWNSHIP 19 SOUTH, RANGE 28 EAST, LAKE COUNTY, FLORIDA, BOUNDED AND DESCRIBED AS FOLLOWS: FROM THE SOUTHWEST CORNER OF SAID GOVERNMENT LOT 2 RUN NORTH ALONG THE WEST LINE OF SAID GOVERNMENT LOT 2 A DISTANCE OF 1000 FEET; THENCE RUN EAST AND PARALLEL WITH THE SOUTH LINE OF SAID GOVERNMENT LOT 2 A DISTANCE OF 25 FEET FOR A POINT OF BEGINNING; FROM SAID POINT OF BEGINNING RUN THENCE NORTH AND PARALLEL WITH THE WEST LINE OF SAID GOVERNMENT LOT 2 TO THE NORTH LINE OF THE SOUTH 1/2 OF SAID GOVERNMENT LOT 2; THENCE RUN EAST AND PARALLEL WITH THE NORTH LINE OF SAID GOVERNMENT LOTS 1 AND 2 TO THE EAST LINE OF GOVERNMENT LOT 1; THENCE RUN SOUTH ALONG THE EAST LINE OF SAID GOVERNMENT LOT 1 TO THE NORTH LINE OF SECTION 37, TOWNSHIP 19 SOUTH, RANGE 28 EAST, (THE SAME BEING THE NORTH LINE OF THE THERESA RODRIGUEZ GRANT); THENCE RUN WEST ALONG THE NORTH LINE OF SAID SECTION 37 TO THE NORTHWEST CORNER OF SAID SECTION 37; THENCE RUN SOUTH ALONG THE WEST LINE OF SAID SECTION 37 TO THE SOUTH LINE OF GOVERNMENT LOT 1 IN SAID SECTION 5; THENCE RUN WEST ALONG THE SOUTH LINE OF SAID GOVERNMENT LOT 1 TO THE SOUTHWEST CORNER OF SAID GOVERNMENT LOT 1; THENCE RUN NORTH ALONG THE WEST LINE OF SAID GOVERNMENT LOT 1 A DISTANCE OF 1000 FEET; THENCE RUN WEST AND PARALLEL WITH THE SOUTH LINE OF GOVERNMENT LOT 2 IN SAID SECTION 5 TO THE POINT OF BEGINNING.

AND THE NORTHEAST 1/4, LESS & EXCEPT THE WEST 25 FEET THEREOF FOR PUBLIC ROAD; THE EAST 1/2 OF THE NORTH 1/2 OF THE SOUTH 1/2, LESS & EXCEPT THE WEST 25 FEET THEREOF FOR PUBLIC ROAD; THE EAST 1/2 OF THE NORTHWEST 1/4, LESS & EXCEPT THE EAST 25 FEET THEREOF FOR PUBLIC ROAD; THE NORTHEAST 1/4 OF THE SOUTHWEST 1/4, LESS & EXCEPT THE EAST 25 FEET THEREOF FOR PUBLIC ROAD; THE NORTHWEST 1/4 OF THE SOUTHWEST 1/4, LESS & EXCEPT THE WEST 25 FEET THEREOF FOR PUBLIC ROAD; ALL IN SECTION 5, TOWNSHIP 19 SOUTH, RANGE 28 EAST;

ALSO THE SOUTHWEST 1/4 OF THE SOUTHWEST 1/4 OF SECTION 5, TOWNSHIP 19 SOUTH, RANGE 28 EAST, LESS & EXCEPT THE WEST 25 FEET THEREOF FOR PUBLIC ROAD;

AND THE SOUTHEAST 1/4 OF THE SOUTHWEST 1/4 OF SECTION 5, TOWNSHIP 19 SOUTH, RANGE 28 EAST, LESS & EXCEPT THE EAST 25 FEET THEREOF FOR PUBLIC ROAD;

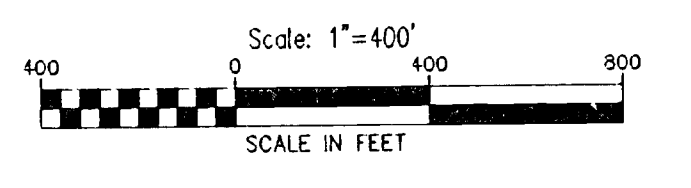
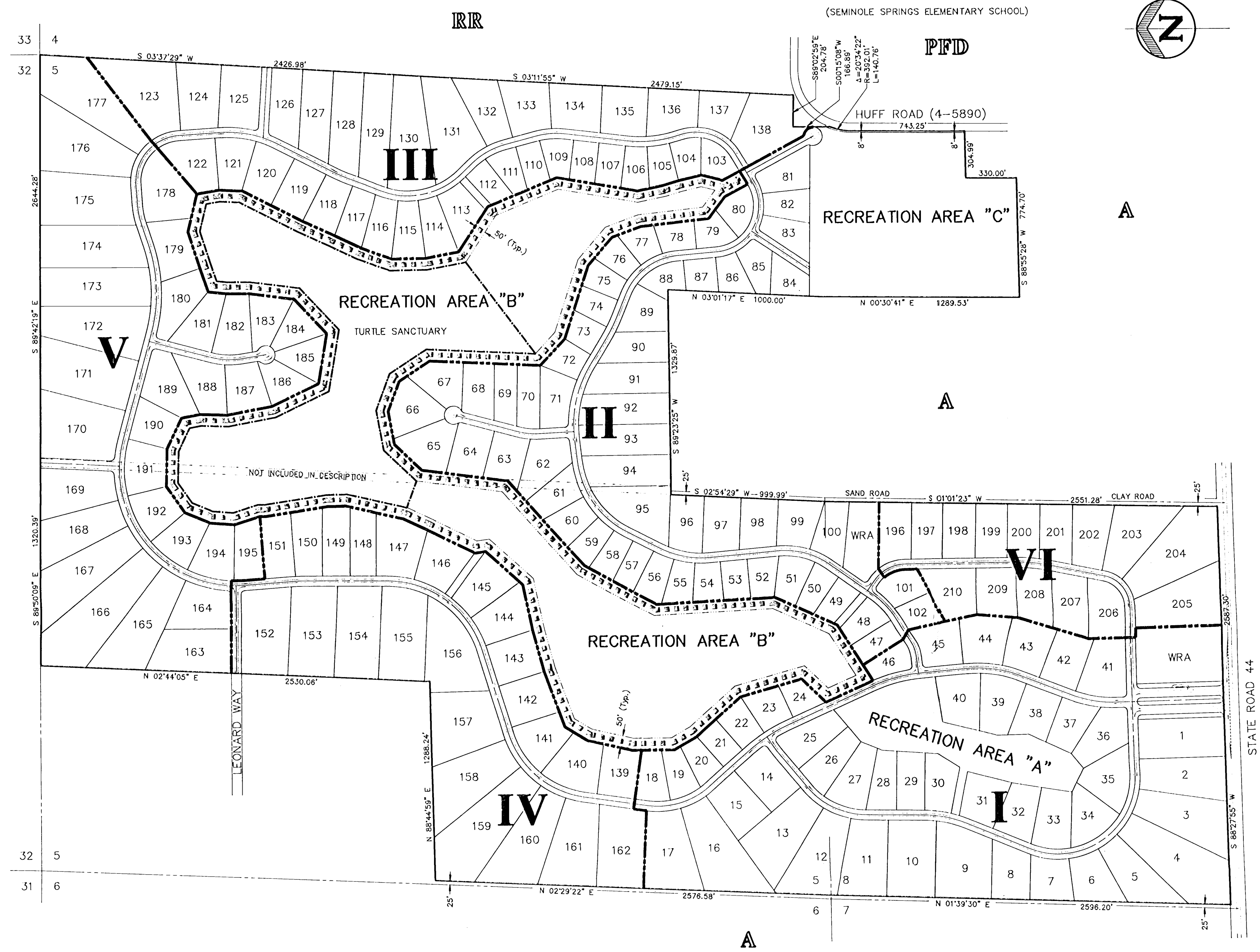
AND THE NORTHWEST 1/4 OF SECTION 8, TOWNSHIP 19 SOUTH, RANGE 28 EAST, LESS & EXCEPT THE WEST 25 FEET THEREOF FOR PUBLIC ROAD, AND ALSO LESS & EXCEPT THE EAST 25 FEET THEREOF FOR PUBLIC ROAD, AND ALSO LESS & EXCEPT THE SOUTH 50 FEET THEREOF FOR PUBLIC ROAD;

AND THE NORTHEAST 1/4 OF THE NORTHEAST 1/4 OF SECTION 8, TOWNSHIP 19 SOUTH, RANGE 28 EAST, LESS & EXCEPT THAT PART THEREOF LYING WITHIN THE RODRIGUEZ GRANT, AND ALSO SUBJECT TO EXISTING PUBLIC ROAD RIGHT-OF-WAY ALONG THE EAST SIDE THEREOF.

LESS: THE SOUTH 330 FEET OF THE EAST 330 FEET (AS MEASURED ALONG BOUNDARY LINES) OF THE NORTH 1/2 OF GOVERNMENT LOT 1 OF SECTION 8, TOWNSHIP 19 SOUTH, RANGE 28 EAST, IN LAKE COUNTY, FLORIDA.

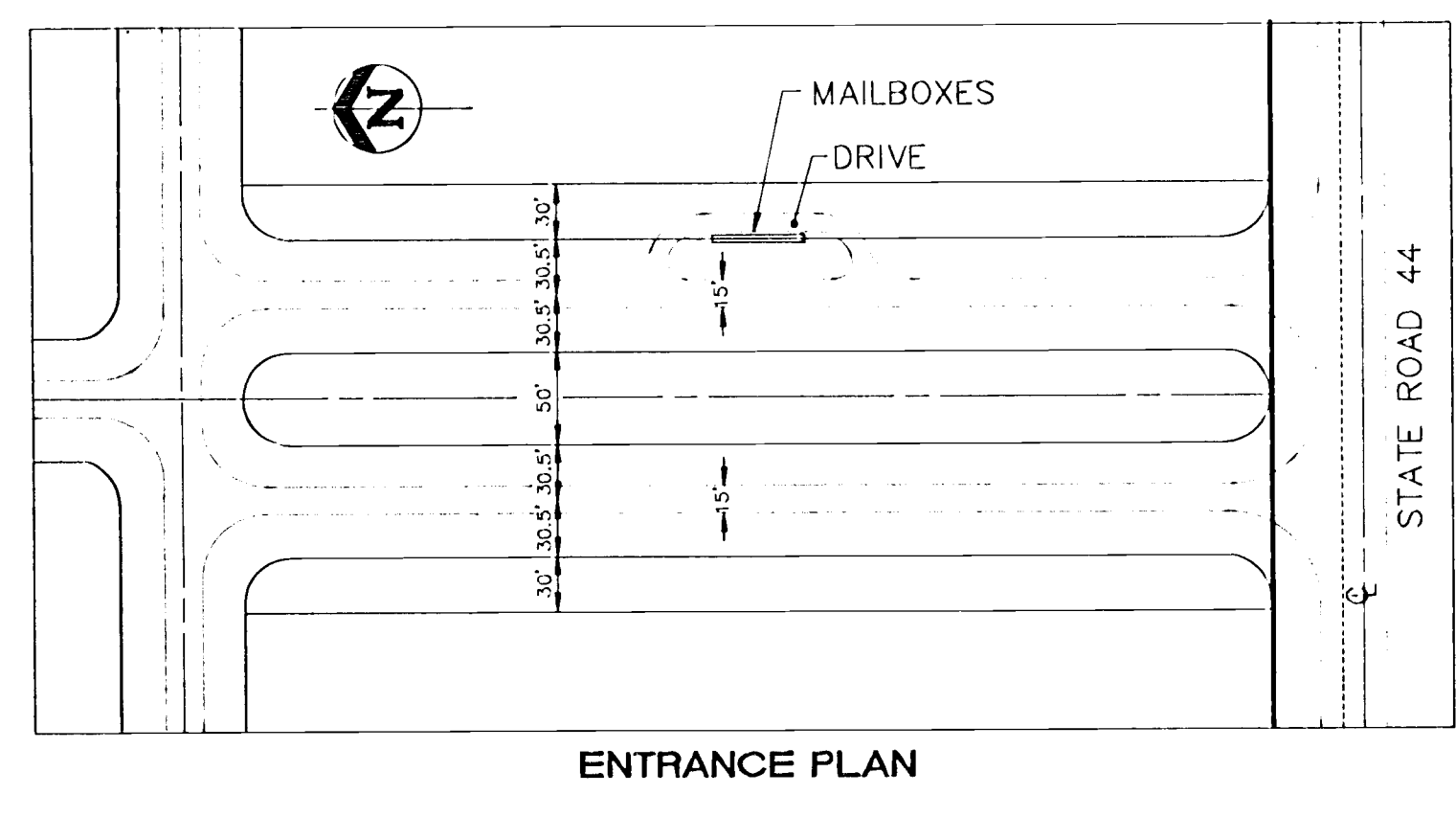
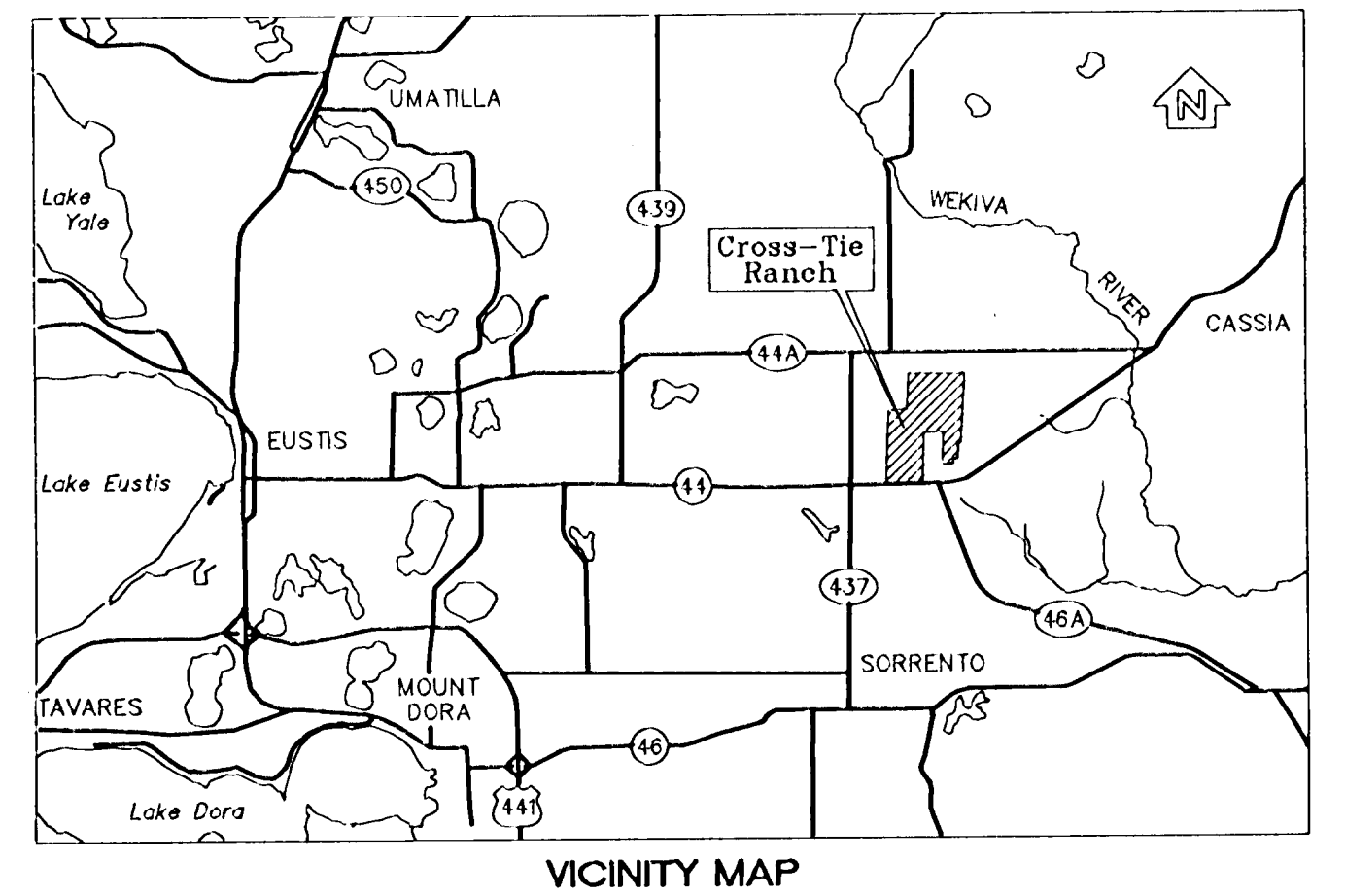
SUMMARY

| | |
|--------------------------------------|------------------------------|
| PROPOSED LAND USE | SINGLE FAMILY DETACHED UNITS |
| TOTAL PROJECT AREA (WITHIN BOUNDARY) | 685.44 acres |
| PHASE 1 | 134.32 acres |
| PHASE 2 | 126.67 acres |
| PHASE 3 | 78.87 acres |
| PHASE 4 | 78.89 acres |
| PHASE 5 | 102.04 acres |
| PHASE 6 | 37.31 acres |
| TOTAL NUMBER OF LOTS | 210 |
| PHASE 1 | 46 |
| PHASE 2 | 56 |
| PHASE 3 | 36 |
| PHASE 4 | 24 |
| PHASE 5 | 33 |
| PHASE 6 | 15 |
| AREA OF RECREATION AREA "A" | 11.78 acres |
| AREA OF RECREATION AREA "B" | 127.42 acres |
| AREA OF RECREATION AREA "C" | 32.17 acres |
| TOTAL AREA FOR RECREATION | 171.37 acres |
| GROSS DENSITY | 0.30 lots per acre |
| PRESENT ZONING | PUD |
| LOT SIZE | 1.00 acre minimum |
| TOTAL LENGTH OF ROADS | 5.8 miles |
| WATER | INDIVIDUAL WELLS |
| SANITARY SEWAGE | INDIVIDUAL SEPTIC TANKS |

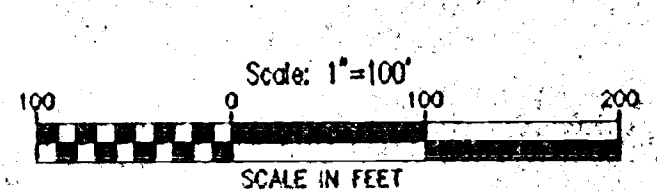
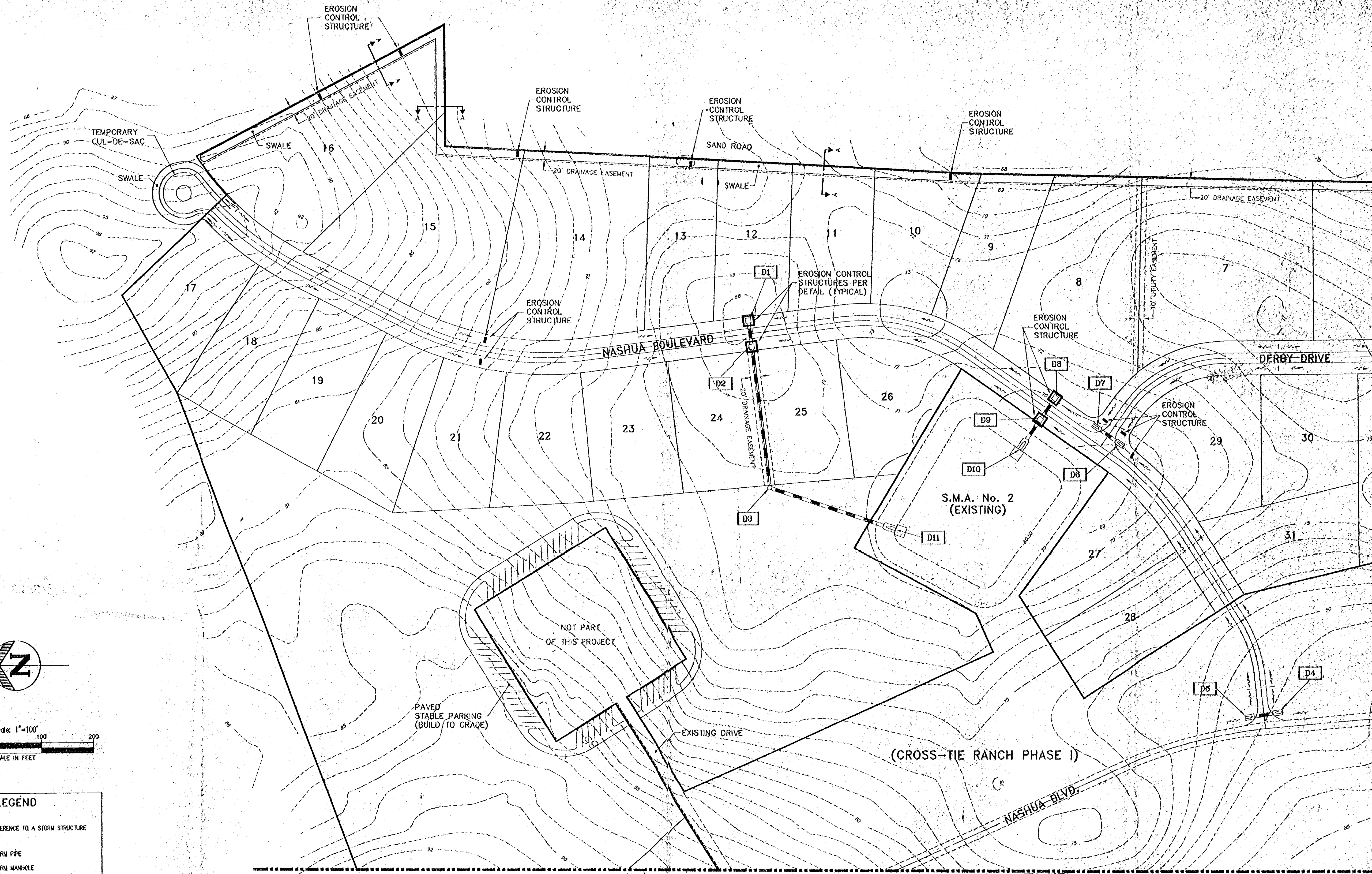


- LEGEND -

| | |
|-------------|----------------------------|
| IV | PHASE |
| --- | PHASE BOUNDARY |
| ----- | TURTLE SANCTUARY BOUNDARY |
| | PEDESTRIAN/BICYCLE PATHWAY |
| IRIR | ZONING |



RECEIVED
 MAR 3 1994
 4-069-0296
 RECORDS
 ORLANDO



LEGEND

| | |
|----|--------------------------------|
| D0 | REFERENCE TO A STORM STRUCTURE |
| — | STORM PIPE |
| ○ | STORM MANHOLE |
| □ | STORM INLET |
| ▭ | MITERED END SECTION |
| ~ | DRAINAGE FLOW ARROW |

MATCH LINE SEE SHEET 4
FOR CONTINUATION

MATCH LINE SEE SHEET 5
FOR CONTINUATION

| DATE | REVISION |
|------|----------|
| | |
| | |
| | |
| | |
| | |

EROSION CONTROL PLAN
Cross-Tie Ranch Phase III
 Sections 5 and 6, Township 19 South, Range 28 East, Lake County, Florida.

FORNEY
BARLEY
 ENGINEERS
 SURVEYORS
 PLANNERS
 AND ASSOCIATES, INC.
 380 North Lincoln Avenue, Ocala, Florida 32776
 (352) 349-4444

OWNER/DEVELOPER:
 CROSS-TIE RANCH
 LIMITED PARTNERSHIP
 548 PLEASANT STREET
 NORTHAMPTON, MA 01060.

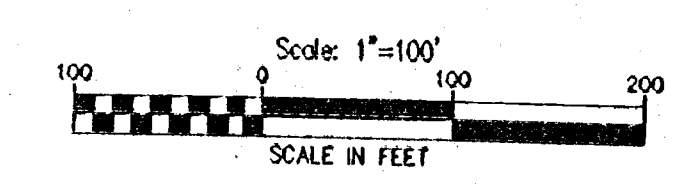
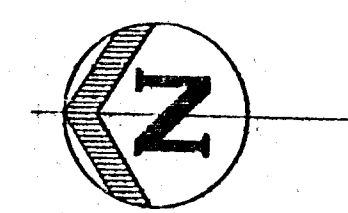
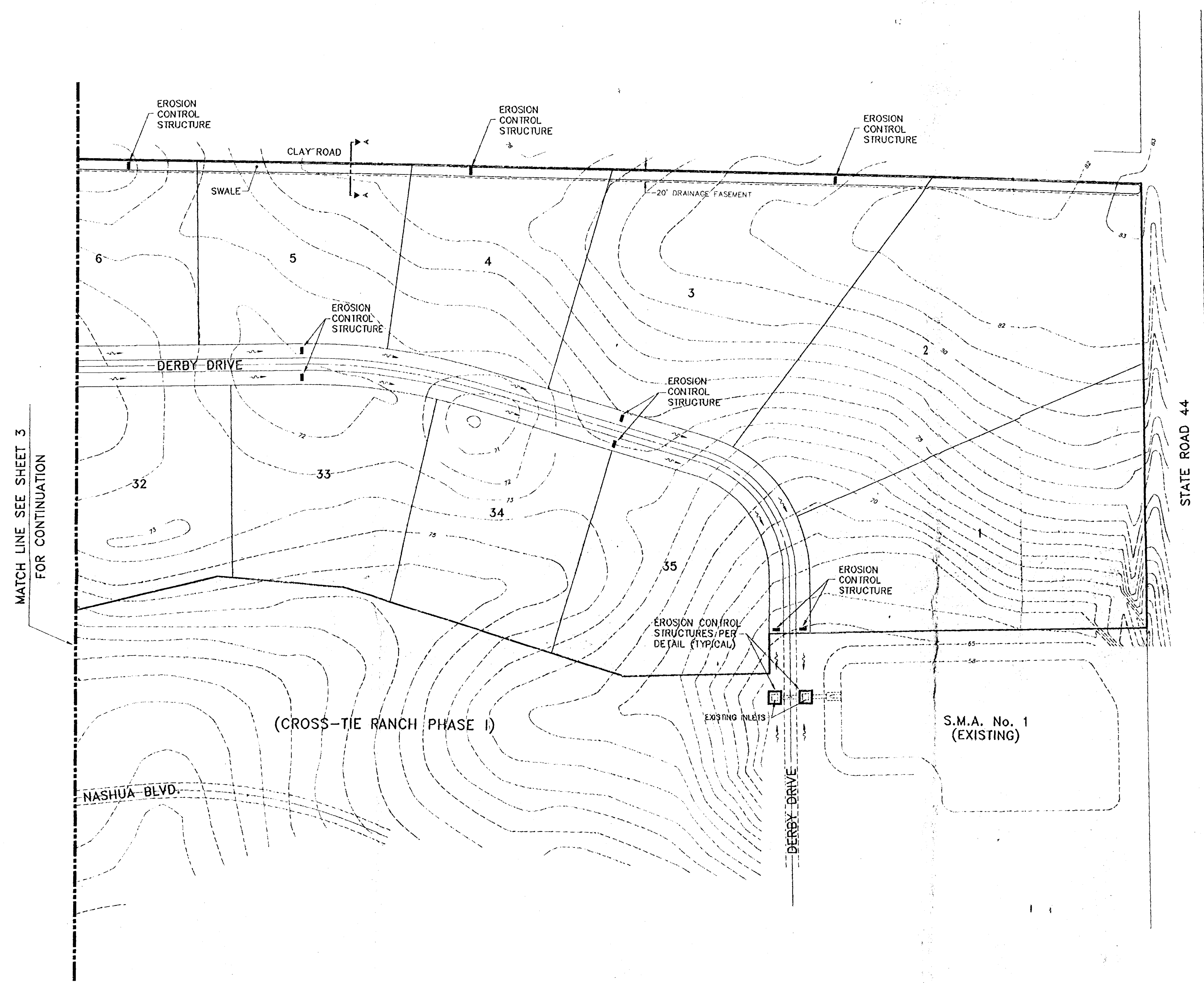
RECEIVED
 JUN 24 1994
 7-067-02 76 A
 RECORDS
 ORLANDO

[Signature]

CHECKED BY: _____
 PROJECT NO: 921088.001
 DATE: JUNE 1994
 DRAWN BY: J.W.M.

Sht. 1 of 3

FILE NAME: CROSS030.DWG



LEGEND

| | |
|----|--------------------------------|
| DO | REFERENCE TO A STORM STRUCTURE |
| — | STORM PIPE |
| ○ | STORM MANHOLE |
| □ | STORM INLET |
| ⊓ | WATERED END SECTION |
| → | DRAINAGE FLOW ARROW |

| NO. | DATE | REVISION |
|-----|------|----------|
| 1 | | |
| 2 | | |
| 3 | | |
| 4 | | |
| 5 | | |
| 6 | | |
| 7 | | |
| 8 | | |
| 9 | | |
| 10 | | |

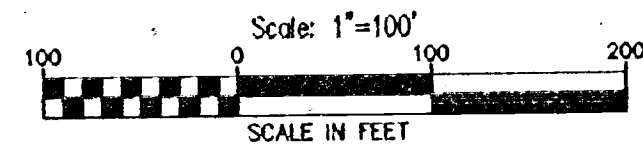
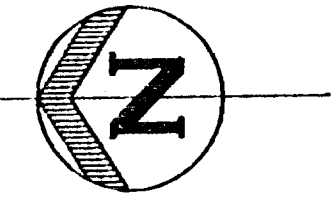
EROSION CONTROL PLAN
Cross-Tie Ranch Phase III
 Sections 5 and 8, Township 19 South, Range 28 East, Lake County, Florida

BARBER
 ENGINEERS
 SURVEYORS
 AND ASSOCIATES, INC.
 340 NORTH SHORE AVENUE, SUITE 100, ORLANDO, FLORIDA 32801
 OWNER/DEVELOPER:
 CROSS-TIE RANCH
 LIMITED PARTNERSHIP
 518 PLEASANT STREET
 NORTHAMPTON, MA 01060

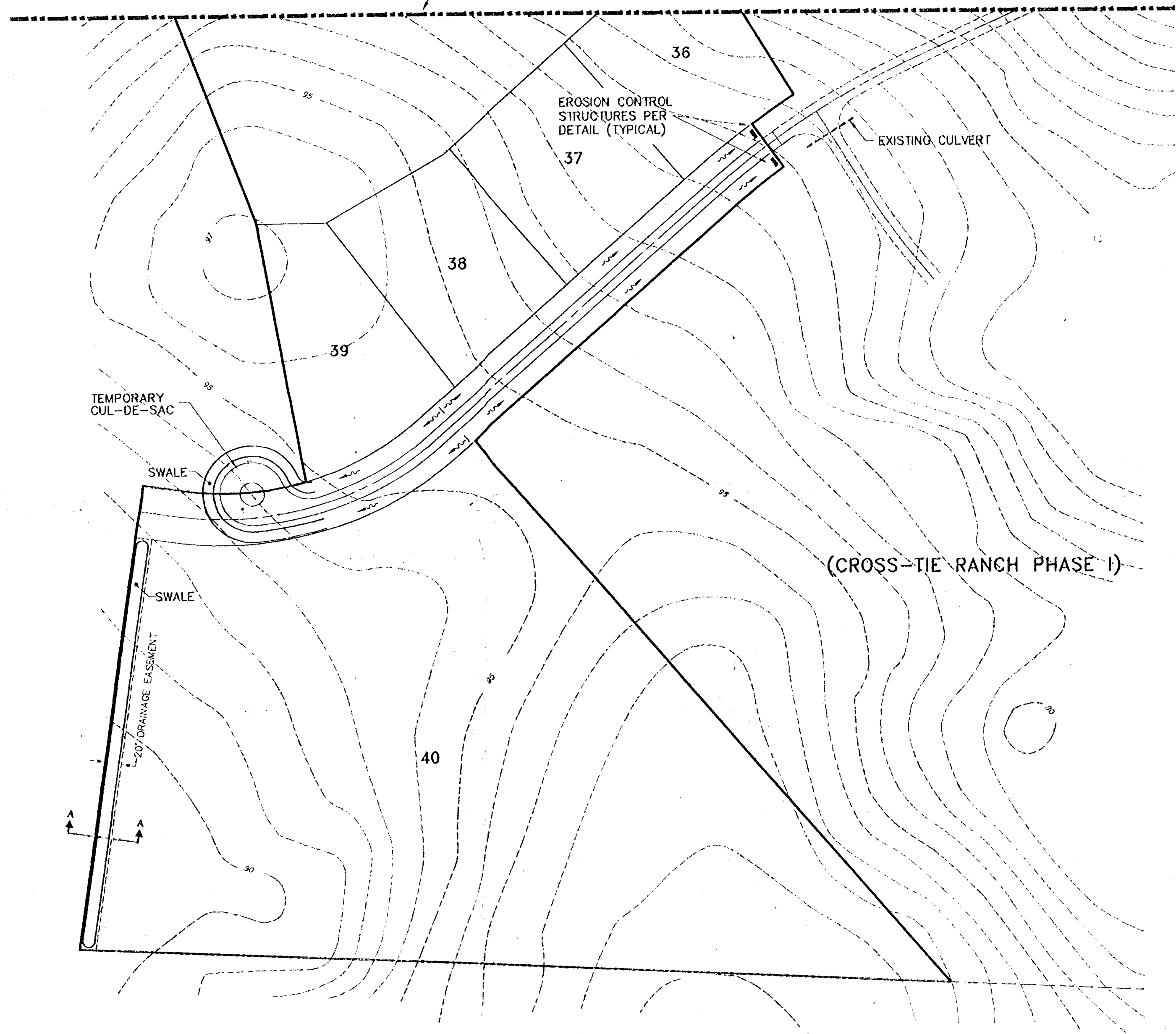
RECEIVED
 JUN 24 1994
 RECORDS
 ORLANDO

J. W. M.

CHECKED BY:
 PROJECT NO.: 921088.001
 DATE: JUNE 1994
 DRAWN BY: J.W.M.
Sht. 2 of 3
 FILE NAME: CROSS031.DWG



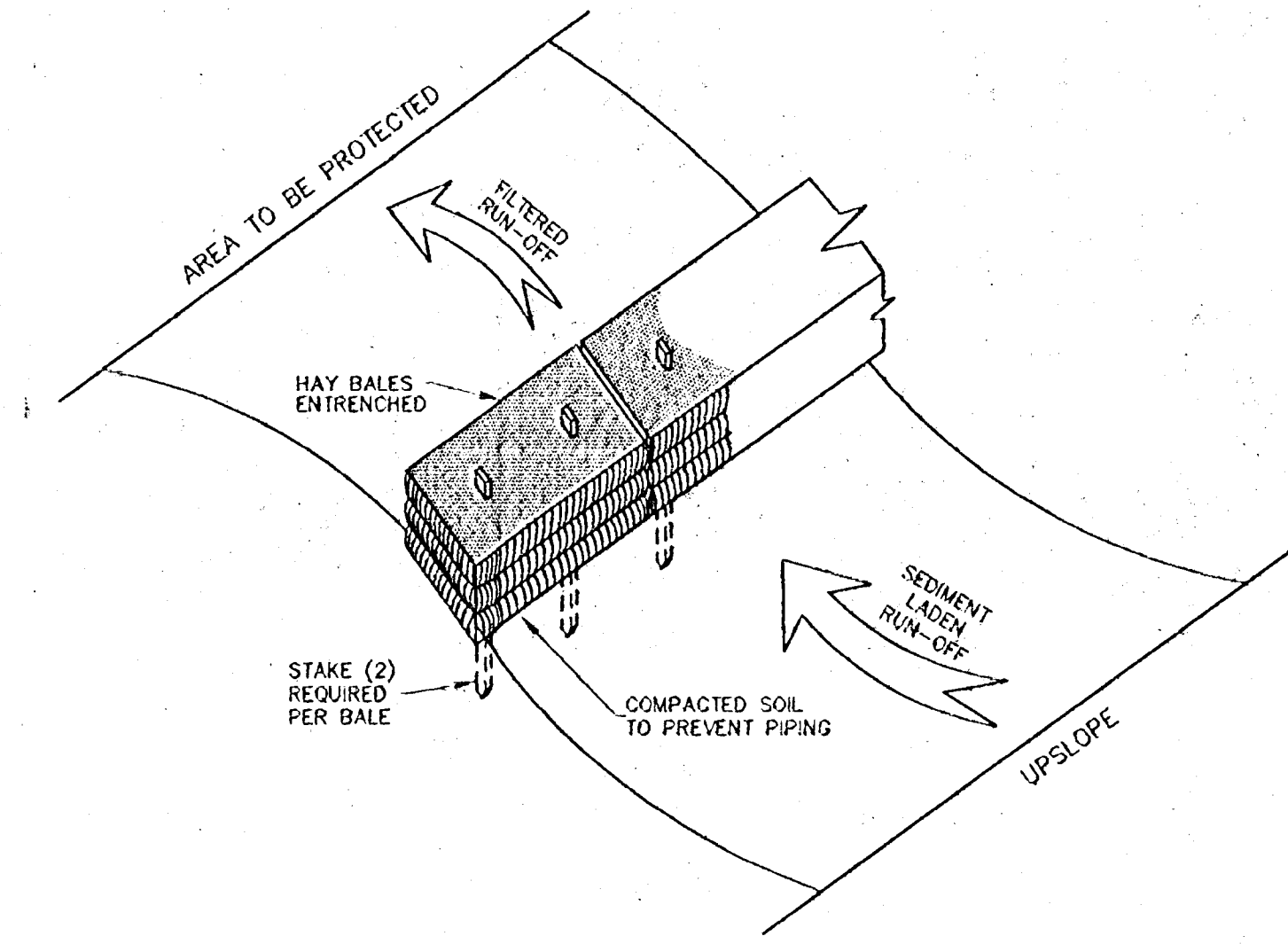
MATCH LINE SEE SHEET 3 FOR CONTINUATION



(CROSS-TIE RANCH PHASE I)

LEGEND

| | |
|-----|--------------------------------|
| DO | REFERENCE TO A STORM STRUCTURE |
| --- | STORM PIPE |
| ○ | STORM MANHOLE |
| □ | STORM INLET |
| ▭ | MITERED END SECTION |
| → | DRAINAGE FLOW ARROW |



EROSION CONTROL STRUCTURE

- NOTES:
1. TEMPORARY EROSION CONTROL STRUCTURE TO BE UTILIZED DURING CONSTRUCTION AT AREAS DESIGNATED BY ENGINEER OR AREAS ON-SITE WHERE UNSTABILIZED GRADES MAY CAUSE EROSION PROBLEMS. EROSION CONTROL STRUCTURE MAY BE REMOVED AFTER UP-SLOPE AREA HAS BEEN STABILIZED BY SOO, OR SEED AS DETERMINED BY CONTRACTOR.
 2. ALTERNATE EROSION CONTROL STRUCTURE: WOVEN FILTER FABRIC SILT FENCE IN ACCORDANCE WITH F.O.D.T. INDEX #102, FILTER FABRIC IN ACCORDANCE WITH SECTION 985 OF THE F.O.D.T. STANDARD SPECIFICATIONS.

SITE CONTRACTOR'S EROSION CONTROL PLAN

The following list represents minimum erosion and sediment control principles to be implemented during construction to minimize erosion and retain sediment on-site.

1. Stormwater management areas, storm sewer system and control structures shall be excavated to rough grade prior to building construction or placement of impervious surface within the area to be served by those facilities. To prevent reduction in storage volume and percolation rates, all accumulated sediment must be removed from the storage area prior to final grading, stabilization and grassing.
2. Erosion control structures such as hay bales, shall be installed at locations as shown on the construction drawings to trap eroded material, prevent sedimentation in down stream areas and keep runoff velocities low.
3. The contractor shall minimize the extent of area exposed at any one time and the duration of exposure.
4. Stabilization measures shall be initiated for erosion and sediment control on disturbed areas no more than fourteen (14) days after the construction activity in any portion of the site that has temporarily or permanently ceased.
5. The contractor must install a permanent protective vegetative cover for erosion and sediment control on all land surfaces disturbed by construction. This protective cover must be installed within fourteen (14) days after final grading of the affected land surfaces. A permanent vegetative cover must be established within sixty (60) days after planting or installation. The contractor must maintain cover on adjacent ground surfaces which may be impacted by the construction activity until the Water Management District accepts certification that the project is constructed according to the permitted plans.
6. Erosion and sediment control measures shall be adequately maintained to perform their intended function during construction of the project.
7. Necessary repairs to barriers or placement of barriers shall be accomplished promptly.
8. Material from sediment traps shall not be stock piled or disposed of in a manner which makes them readily susceptible to being washing into any water course by runoff or high water.
9. Any accumulated sediment deposits remaining in place after the barriers are no longer required shall be dressed to conform to the existing grade, prepared and seeded.
10. To provide dust control, a contractor shall provide a water truck or irrigation system as needed, to maintain top soil moisture.
11. Temporary erosion and sediment control measures shall be coordinated with permanent measures to assure economical effective and continuous control throughout the construction phase. Temporary measures shall be constructed for expediency in lieu of permanent measures.
12. If site specific conditions require additional measures during any phase of construction or operation to prevent erosion or control sediment, beyond those specified in the erosion and sediment control plan, the contractor must implement additional best management practices as necessary, in accordance with the specifications in Section 8 of the Florida Land Development Manual: A guide to Sound Land and Water Management (Florida Department of Environmental Regulation, 1988).

SOIL DESCRIPTION:

Predominant Soils: A+B - Albany Sands 0 to 5% slopes.
Hydrologic Soils Group "A"

Flood Hazard None

OSDA Classification & Sand, Unifed: SP, SP-SM

Soils Features: Rapid permeability, seasonal low water table, loose sands, unstable side slopes

Schedule & General Description of Construction Phasing:

Cross-Tie Ranch Phase II construction activity shall consist of onsite roadways, roadside swales, rear yard swales and stable parking.

Note: Stormwater management areas were constructed as part of Cross-Tie Phase I and are stabilized, sodded and functioning as designed. The construction schedule is as follows:

| | ACRES | BEGIN | END |
|--|-------|---------|---------|
| 1. CLEAR & GRUB R/W AND SWALES | 8.7 | 5/16/94 | 5/20/94 |
| 2. EXCAVATION R/W AND SWALES | 5.3 | 5/23/94 | 6/10/94 |
| 3. EMBANKMENT R/W AND SWALES | 3.4 | 5/23/94 | 6/10/94 |
| 4. ROUGH GRADING R/W AND SWALES | 8.7 | 5/30/94 | 6/10/94 |
| 5. STABILIZATION (COMPACTION-SUBBASE & BASE) | 2.8 | 6/13/94 | 6/24/94 |
| 6. FINAL GRADING R/W AND SWALES | 8.7 | 6/27/94 | 7/8/94 |
| 7. ASPHALT R/W | 2.5 | 7/11/94 | 7/20/94 |
| 8. GRASSING R/W AND SWALES | 6.2 | 7/18/94 | 7/29/94 |

STORMWATER MANAGEMENT SYSTEM OPERATION AND MAINTENANCE INSTRUCTIONS

The Operation and Maintenance entity responsible for the project shall maintain and operate the surface water system in accordance with the following schedule

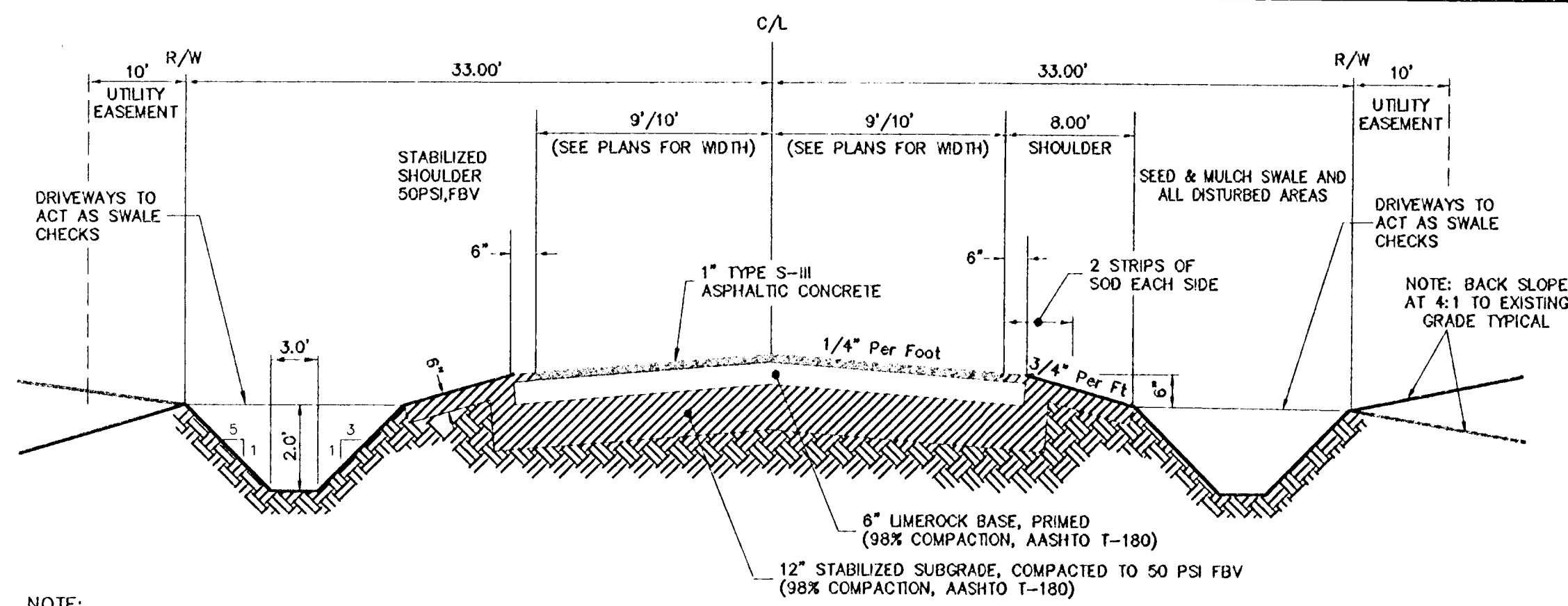
1. Collection System - Visual inspect inlets and pipelines every six (6) months to determine that the system is operating properly and structurally sound. Any debris or sand shall be removed and any necessary repairs made.
2. Stormwater Management Areas - Pond slopes and pond bottoms shall be mowed once a month during the wet season. Once a week debris in the pond shall be removed. A yearly inspection shall be made for erosion of pond slopes and build up of sand and pond-bottom structural integrity of the outfall and skimmer. Necessary improvements shall be made immediately.

RECEIVED
JUN 24 1994
4-069-0296A
RECORDS
ORLANDO

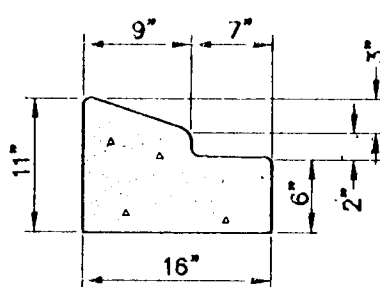
EROSION CONTROL PLAN
Cross-Tie Ranch Phase III

ENGINEERS
SURVEYORS
PLANNERS
AND ASSOCIATES, INC.
100 North Wood Avenue, O'Fallon, Illinois 62457
OWNER/DEVELOPER:
CROSS-TIE RANCH
LIMITED PARTNERSHIP
518 PLEASANT STREET
NORTHAMPTON, MA 01060

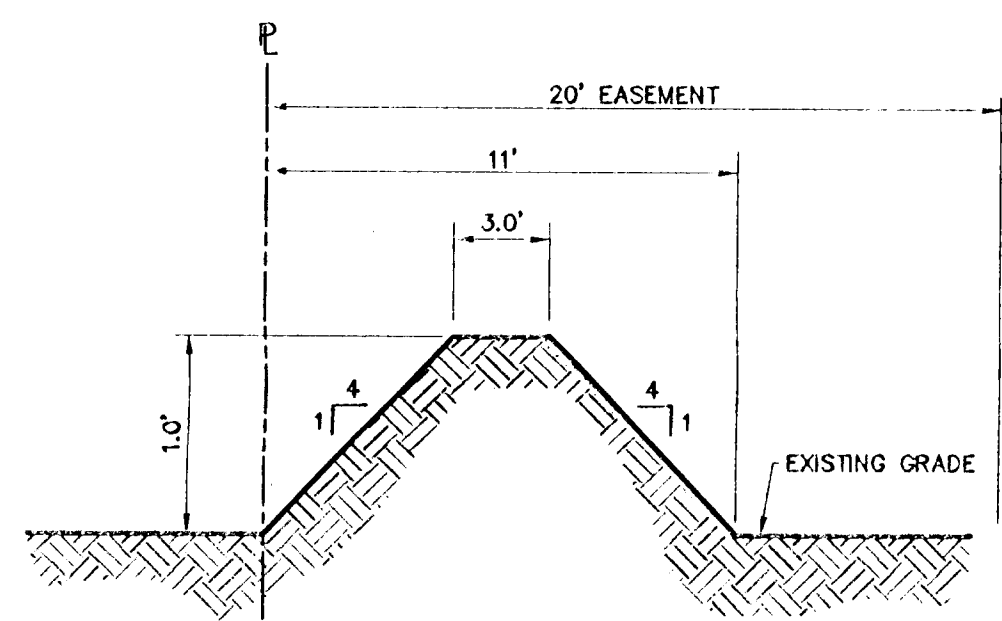
CHECKED BY:
PROJECT NO: 921088.001
DATE: JUNE 1994
DRAWN BY: J.W.M.
Sht. 3 of 3
FILE NAME: CROSS032.DWG



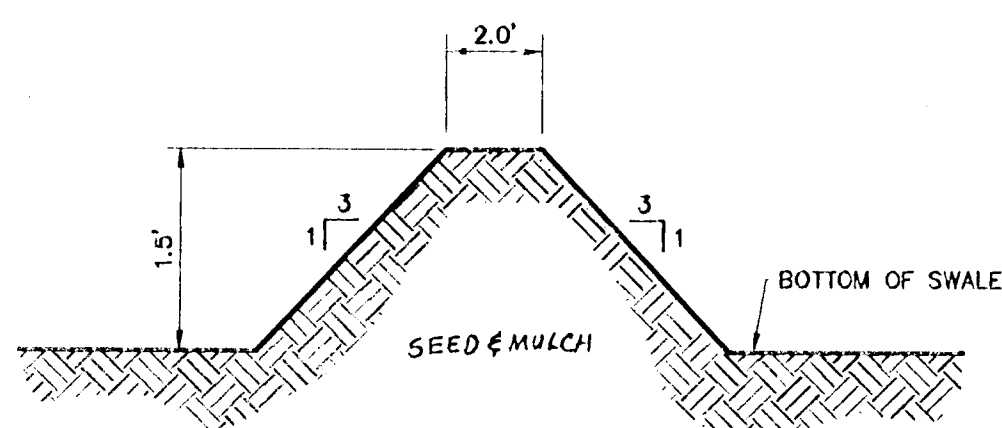
TYPICAL ROAD SECTION
NOT TO SCALE



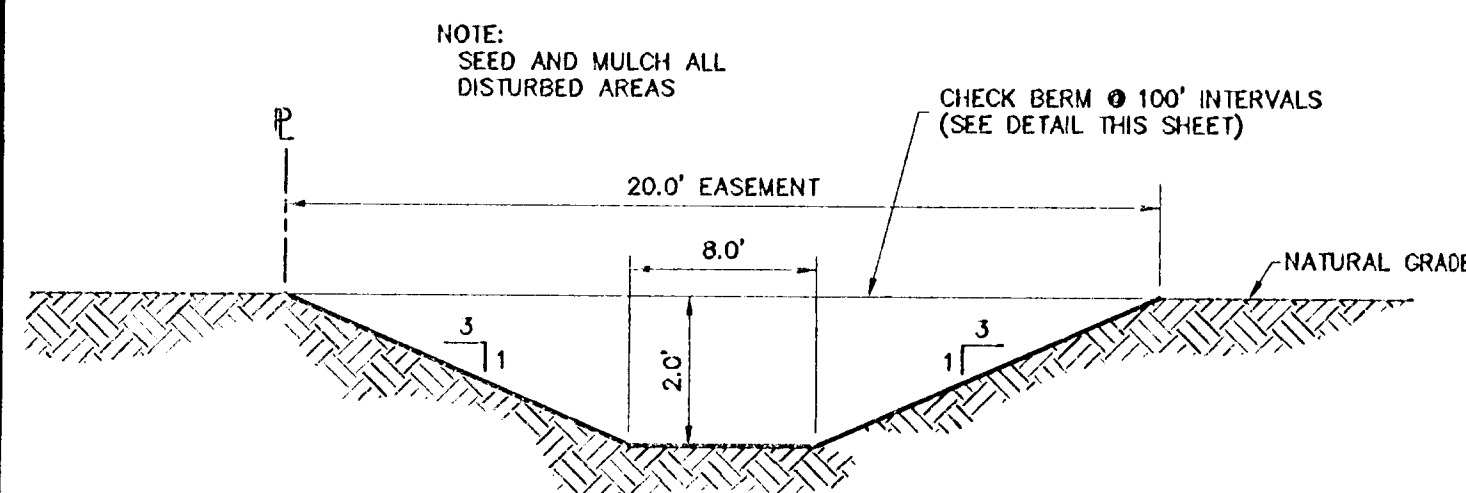
TYPE "A" CURB
(3000 PSI CONCRETE)



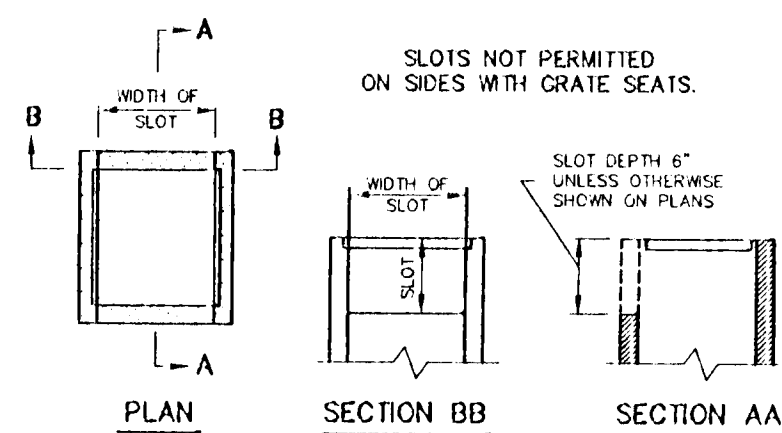
TYPICAL BERM SECTION B-B
NOT TO SCALE



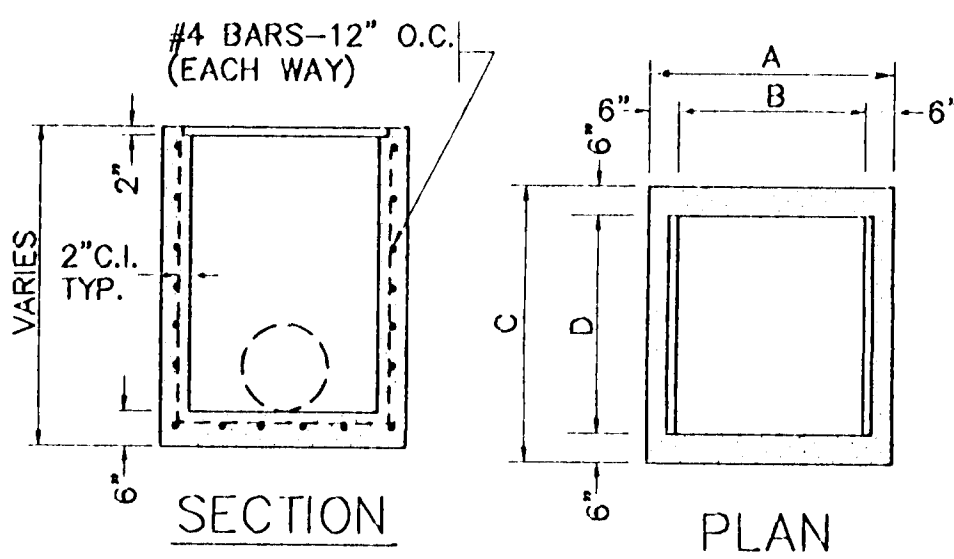
TYPICAL SWALE CHECK SECTION
NOT TO SCALE



TYPICAL SWALE SECTION A-A
NOT TO SCALE

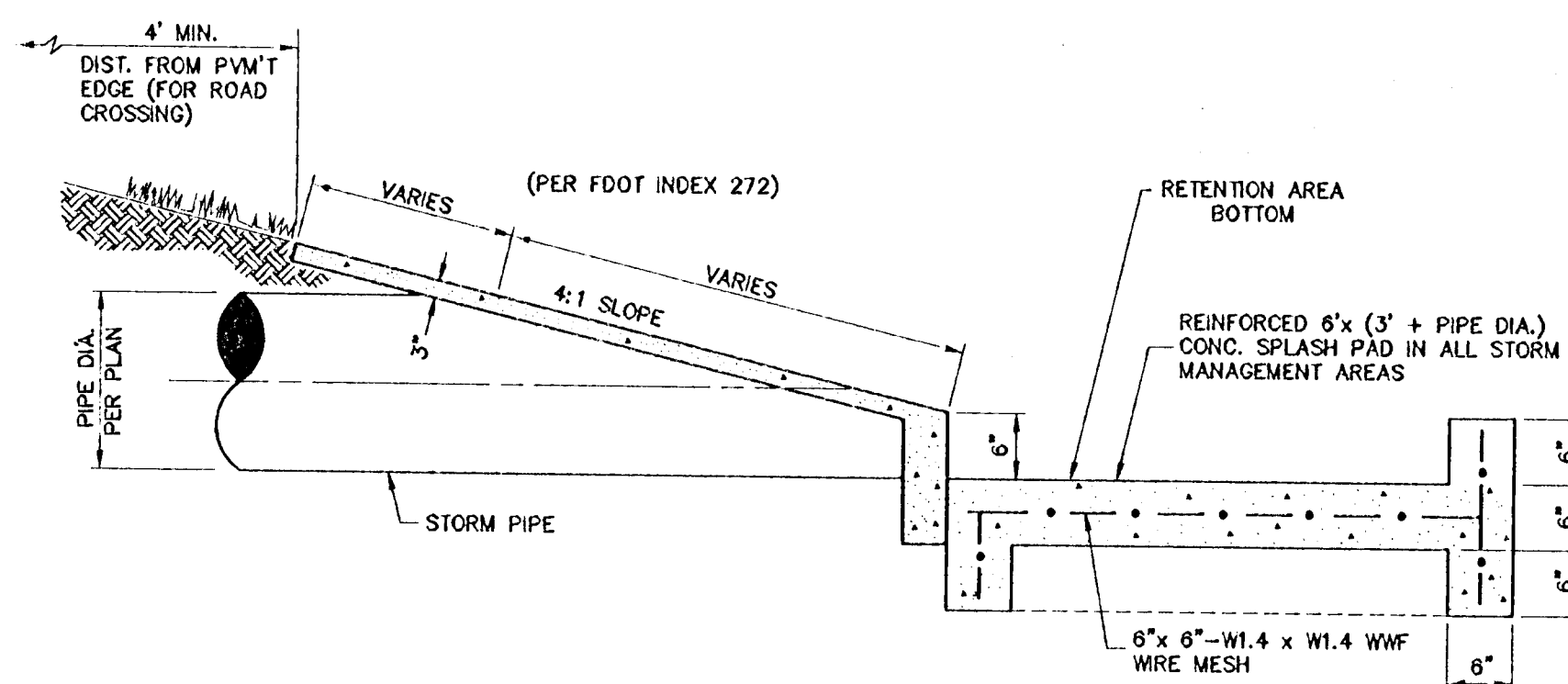


NON-TRAVERSABLE SLOT
F.D.O.T. INDEX #232

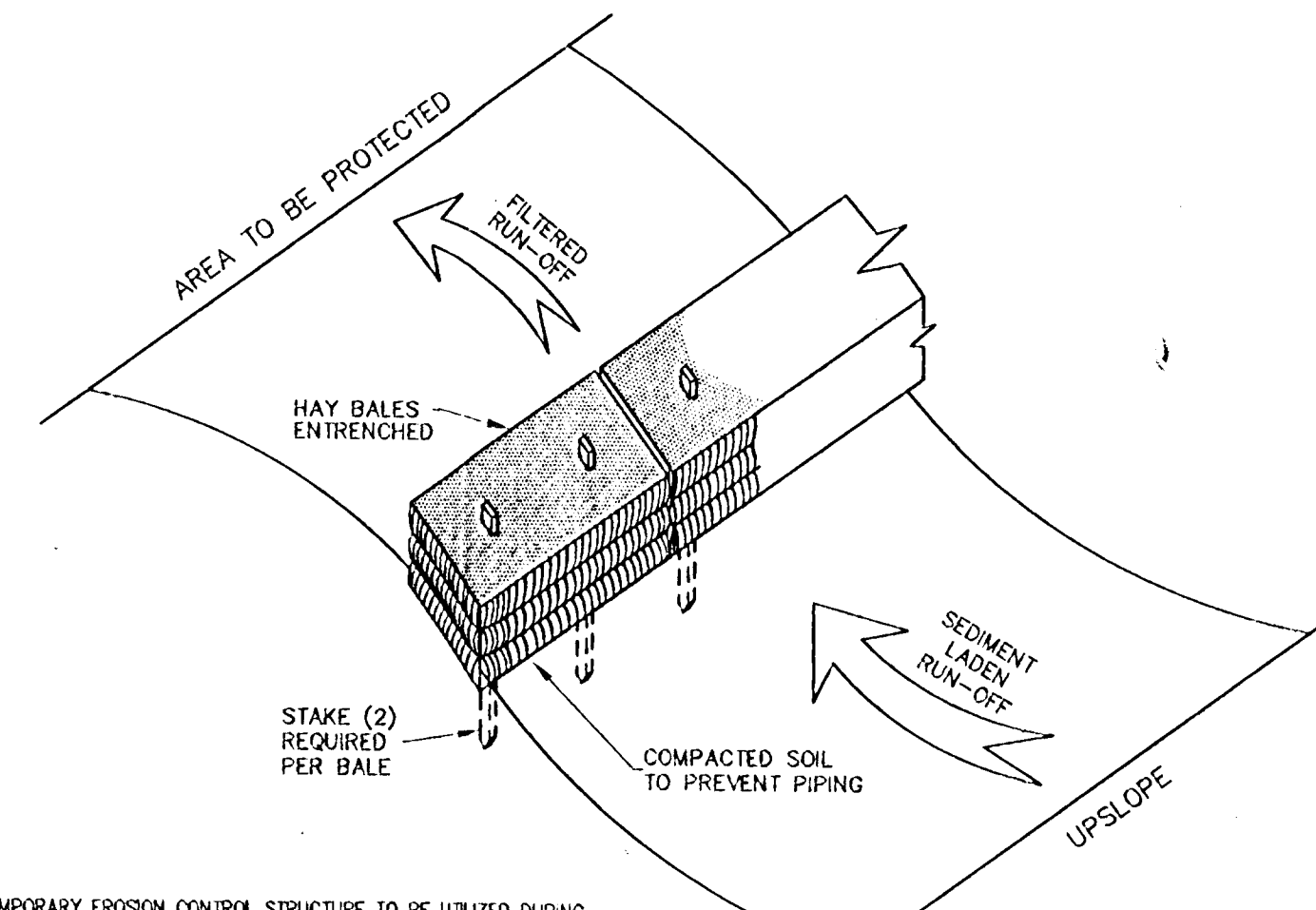


TYPE C, D & E INLETS
F.D.O.T. INDEX #232

| INLET TYPE | DIMENSIONS | | | |
|------------|------------|-------|-------|-------|
| | A | B | C | D |
| C | 3'-0" | 2'-0" | 4'-1" | 3'-1" |
| D | 5'-1" | 4'-1" | 4'-1" | 3'-1" |
| E | 4'-0" | 3'-0" | 5'-6" | 4'-6" |



MITERED END SECTION AND SPLASH PAD



- NOTES:
- TEMPORARY EROSION CONTROL STRUCTURE TO BE UTILIZED DURING CONSTRUCTION AT AREAS DESIGNATED BY ENGINEER OR AREAS ON-SITE WHERE UNSTABILIZED GRADES MAY CAUSE EROSION PROBLEMS. EROSION CONTROL STRUCTURE MAY BE REMOVED AFTER UPSLOPE AREA HAS BEEN STABILIZED BY SOD, OR COMPACTED AS DETERMINED BY CONTRACTOR.
 - ALTERNATE EROSION CONTROL STRUCTURE:
WOVEN FILTER FABRIC SILT FENCE IN ACCORDANCE WITH F.D.O.T. INDEX #102. FILTER FABRIC IN ACCORDANCE WITH SECTION 585 OF THE F.D.O.T. STANDARD SPECIFICATIONS.

EROSION CONTROL STRUCTURE

THE FOLLOWING LIST REPRESENTS A BASIC EROSION AND SEDIMENT CONTROL PROGRAM WHICH IS TO BE IMPLEMENTED TO HELP PREVENT OFF-SITE SEDIMENTATION DURING AND AFTER CONSTRUCTION OF THE PROJECT.

PERMANENT EROSION AND SEDIMENT CONTROL MEASURES SHALL BE INSTALLED AT THE EARLIEST PRACTICAL TIME CONSISTENT WITH GOOD CONSTRUCTION PRACTICES. ONE OF THE FIRST CONSTRUCTION ACTIVITIES SHOULD BE THE PLACEMENT OF PERMANENT AND TEMPORARY EROSION AND SEDIMENT CONTROL MEASURES AROUND THE PERIMETER OF THE PROJECT OR THE INITIAL WORK AREA TO PROTECT THE PROJECT, ADJACENT PROPERTIES AND WATER RESOURCES.

TEMPORARY EROSION AND SEDIMENT CONTROL MEASURES SHALL BE COORDINATED WITH PERMANENT MEASURES TO ASSURE ECONOMIC, EFFECTIVE AND CONTINUOUS CONTROL THROUGHOUT THE CONSTRUCTION PHASE. TEMPORARY MEASURES SHALL NOT BE CONSTRUCTED FOR EXPEDIENCY IN LIEU OF PERMANENT MEASURES.

EROSION AND SEDIMENT CONTROL MEASURES SHALL BE ADEQUATELY MAINTAINED TO PERFORM THEIR INTENDED FUNCTION DURING CONSTRUCTION OF THE PROJECT.

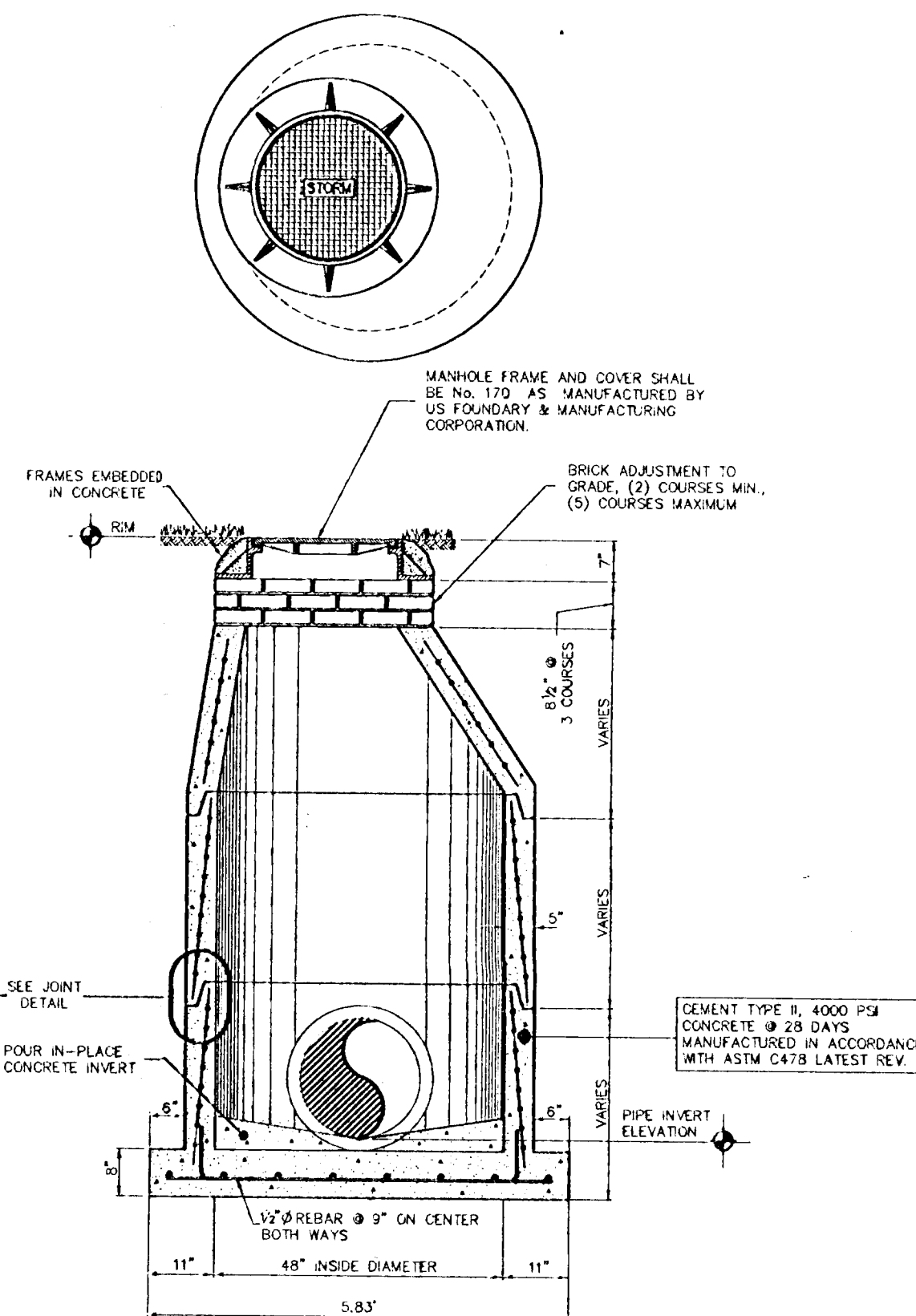
NECESSARY REPAIRS TO BARRIERS OR REPLACEMENT OF BARRIERS SHALL BE ACCOMPLISHED PROMPTLY.

SEDIMENT DEPOSITS SHOULD BE REMOVED AFTER EACH RAINFALL. THEY MUST BE REMOVED WHEN THE LEVEL OF DEPOSITION REACHED APPROXIMATELY ONE-HALF THE HEIGHT OF THE BARRIER.

MATERIAL FROM SEDIMENT TRAPS SHALL NOT BE STOCKPILED OR DISPOSED OF IN A MANNER WHICH MAKES THEM READILY SUSCEPTIBLE TO BEING WASHED INTO ANY WATERCOURSE BY RUNOFF OR HIGH WATER.

ANY SEDIMENT DEPOSITS REMAINING IN PLACE AFTER THE BARRIERS ARE NO LONGER REQUIRED SHALL BE DRESSED TO CONFORM TO THE EXISTING GRADE, PREPARED AND SEED.

- MANHOLE NOTES
- SEAL ALL PIPE OPENINGS IN PRECAST MANHOLE WITH "EMBECCO" NON-SHRINK GROUT OR APPROVED EQUAL.



DRAINAGE PRECAST MANHOLE DETAIL

- ALTERNATE - PRECAST MANHOLE TOPS
- APPROVED CONCENTRIC CONE DESIGN MAY BE USED AS AN ALTERNATE.
 - APPROVED FLAT SLAB TOP MAY BE USED AS AN ALTERNATE (6" MIN. THICKNESS).

DRAINAGE DETAILS
Cross-Tie Ranch Phase II

Sections 5 and 8, Township 19 South, Range 28 East, Lake County, Florida

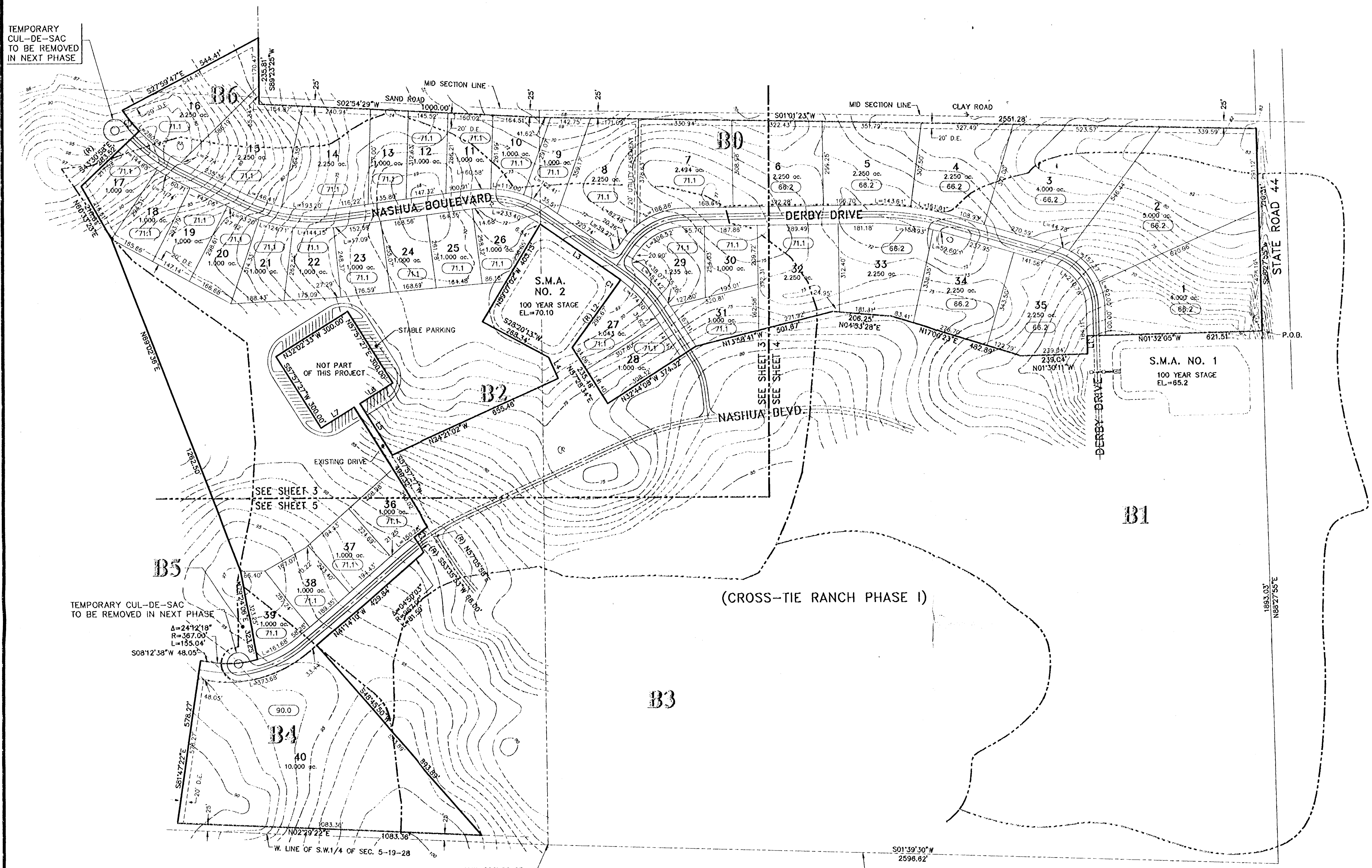
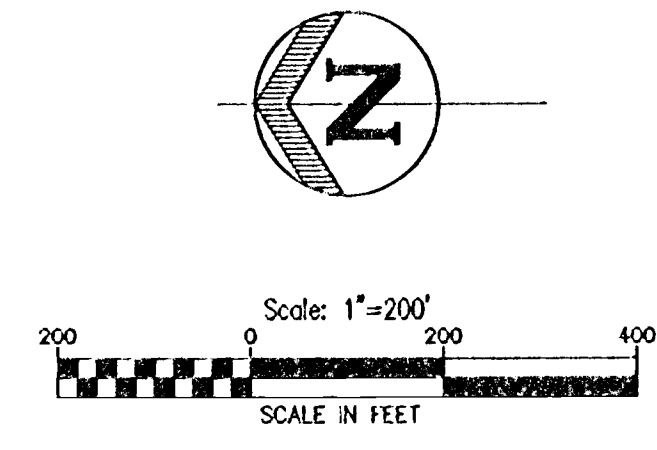
ENGINEERS SURVEYORS PLANNERS
AND ASSOCIATES, INC.
518 PLEASANT STREET
NORTHAMPTON, MA 01060

WMM/2/2/94

RECEIVED
MAR 3 1994
4-069-02 96A
RECORDS
ORLANDO

CHECKED BY: _____
PROJECT NO.: 921088.001
DATE: JAN. 1994
DRAWN BY: J.W.M.
Sht. 9 of 10
FILE NAME: CROSS010.DWG

TEMPORARY CUL-DE-SAC TO BE REMOVED IN NEXT PHASE



DESCRIPTION

A PARCEL OF LAND IN SECTIONS 5 AND 8, TOWNSHIP 19 SOUTH, RANGE 28 EAST, LAKE COUNTY, FLORIDA, DESCRIBED AS FOLLOWS:

FROM THE NORTHWEST CORNER OF AFORESAID SECTION 8 RUN S01°39'30"W ALONG THE WEST LINE OF THE NORTHWEST 1/4 THEREOF A DISTANCE OF 2598.82 FEET TO THE NORTH RIGHT-OF-WAY LINE OF STATE ROAD 44; THENCE ALONG SAID RIGHT-OF-WAY LINE RUN N88°27'55"E 1893.03 FEET TO THE POINT OF BEGINNING; THENCE LEAVING SAID RIGHT-OF-WAY LINE RUN N01°32'05"W 821.51 FEET; THENCE S88°29'49"W 84.07 FEET; THENCE N01°50'11"W 239.04 FEET; THENCE N70°02'32"E 482.89 FEET; THENCE N04°53'28"E 208.25 FEET; THENCE N13°58'41"W 501.87 FEET; THENCE N32°44'08"W 374.32 FEET; THENCE N57°28'34"E 235.46 FEET; THENCE S54°08'30"E 285.87 FEET TO A POINT ON A CURVE; SAID CURVE CONCAVE NORTHWESTERLY, HAVING A RADIUS OF 487.00 FEET TO WHICH A RADIAL LINE BEARS N54°08'30"E; THENCE NORTHWESTERLY 9.20 FEET ALONG THE ARC THEREOF THROUGH A CENTRAL ANGLE OF 01°07'44" TO THE END OF SAID CURVE; THENCE N34°45'46"E 338.97 FEET; THENCE N59°07'02"W 403.13 FEET; THENCE S28°20'13"W 288.34 FEET; THENCE S65°38'58"W 81.01 FEET; THENCE N24°21'02"W 855.46 FEET; THENCE N57°57'27"E 215.66 FEET; THENCE S32°02'33"E 137.50 FEET; THENCE N57°37'27"E 300.00 FEET; THENCE N32°02'33"W 300.00 FEET; THENCE S57°57'27"W 300.00 FEET; THENCE S32°02'33"E 137.50 FEET; THENCE S57°57'27"W 499.32 FEET TO A POINT ON A CURVE; SAID CURVE CONCAVE SOUTHWESTERLY AND HAVING A RADIUS OF 1033.00 FEET TO WHICH A RADIAL LINE BEARS N57°05'58"E; THENCE NORTHWESTERLY 83.13 FEET ALONG THE ARC OF SAID CURVE THROUGH A CENTRAL ANGLE OF 3°30'05"; THENCE ALONG A RADIAL LINE RUN S53°35'53"W 68.00 FEET TO A POINT ON A CURVE; SAID CURVE CONCAVE SOUTHWESTERLY AND HAVING A RADIUS OF 987.00 FEET TO WHICH A RADIAL LINE BEARS N53°35'53"E; THENCE NORTHWESTERLY 81.59 FEET ALONG THE ARC OF SAID CURVE THROUGH A CENTRAL ANGLE OF 4°50'03"; THENCE N41°14'10"W 429.84 FEET; THENCE S48°49'50"W 893.89 FEET TO A POINT 25 FEET EAST OF THE WEST LINE OF THE S.W.1/4 OF THE AFORESAID SECTION 5 (WHEN MEASURED AT RIGHT ANGLES THEREOF); THENCE PARALLEL WITH AND 25 FEET EAST OF SAID WEST LINE 1083.36 FEET; THENCE S81°47'22"E 578.27 FEET; THENCE S08°12'38"W 48.05 FEET TO THE BEGINNING OF A CURVE CONCAVE EASTERLY AND HAVING A RADIUS OF 387.00 FEET; THENCE SOUTHERLY ALONG THE ARC OF SAID CURVE THROUGH A CENTRAL ANGLE OF 2°12'18" AN ARC LENGTH OF 155.04 FEET; THENCE N79°24'08"E 323.25 FEET; THENCE N69°02'38"E 1282.50 FEET; THENCE N60°33'23"E 216.81 FEET; THENCE S43°30'58"E 283.52 FEET TO A POINT ON A CURVE CONCAVE SOUTHWESTERLY AND HAVING A RADIUS OF 587.00 FEET; SAID POINT BEARS N43°30'58"W OF THE RADIUS POINT OF SAID CURVE; THENCE RUN NORTHWESTERLY ALONG THE ARC OF SAID CURVE THROUGH A CENTRAL ANGLE OF 9°34'54" AN ARC LENGTH OF 94.82 FEET; THENCE S27°59'47"E 544.41 FEET; THENCE S89°23'25"W 235.81 FEET TO A POINT THAT IS 25.00 FEET WEST (BY PERPENDICULAR MEASUREMENT) OF THE NORTH-SOUTH MID-SECTION LINE OF AFORESAID SECTION 5; THENCE PARALLEL WITH SAID MID-SECTION LINE RUN S02°54'29"W 1000.00 FEET; THENCE PARALLEL WITH AND 25.00 FEET WEST (BY PERPENDICULAR MEASUREMENT) OF THE NORTH-SOUTH MID-SECTION LINE OF AFORESAID SECTION 8 RUN S01°01'23"W 2551.28 FEET TO THE AFORESAID NORTH RIGHT-OF-WAY LINE OF STATE ROAD 44; THENCE ALONG SAID RIGHT-OF-WAY LINE RUN S88°27'55"W 719.31 FEET TO THE POINT OF BEGINNING.

CURVE TABLE

| CURVE | DELTA | RADIUS | LENGTH |
|-------|-----------|----------|--------|
| C1 | 01°07'44" | 487.00' | 9.20' |
| C2 | 09°34'54" | 587.00' | 94.82' |
| C3 | 03°30'05" | 1033.00' | 63.13' |

LINE TABLE

| LINE | BEARING | DISTANCE |
|------|-------------|----------|
| L1 | S88°29'49"W | 84.07' |
| L2 | S54°08'30"E | 285.87' |
| L3 | N34°45'46"E | 338.97' |
| L4 | S65°38'58"W | 81.01' |
| L5 | N57°57'27"E | 215.66' |
| L6 | S32°02'33"E | 137.50' |
| L7 | S32°02'33"E | 137.50' |

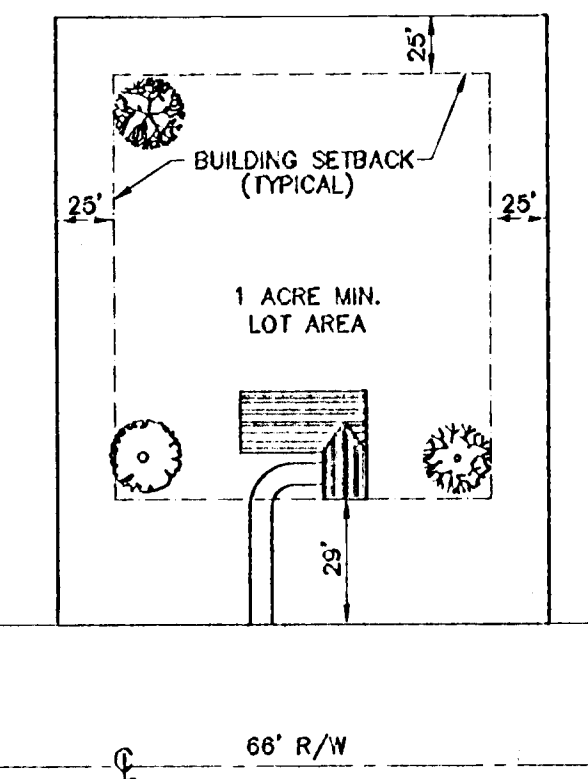
LEGEND

- (DO) REFERENCE TO DRAINAGE STRUCTURE
- ⊙ B-1 SOIL BORING
- S.M.A. STORMWATER MANAGEMENT AREA
- D.E. DRAINAGE EASEMENT
- DRAINAGE PIPE
- CATCH BASIN
- ▭ MITERED END SECTION
- 100 EXISTING GRADE
- x 100.00 FINISH GRADE
- B0 DRAINAGE BASIN NUMBER
- DRAINAGE BASIN DIVIDE
- 00.0 MINIMUM FINISH FLOOR ELEVATION

- NOTES**
- ALL CORNER RADII AT LOT LINE ARE 25.00'
 - ALL SOILS ARE OF HYDROLOGICAL GROUP A.

SUMMARY

| | |
|--|------------------------------|
| PROPOSED LAND USE | SINGLE FAMILY DETACHED UNITS |
| TOTAL AREA | 100.45 acres |
| TOTAL NUMBER OF LOTS | 40 |
| GROSS DENSITY | 0.40 lots per acre |
| PRESENT ZONING | PUD |
| LOT SIZE | 1.00 acre minimum |
| TOTAL LENGTH OF ROADS | 0.98 miles |
| WATER | INDIVIDUAL WELLS |
| SANITARY SEWAGE | INDIVIDUAL SEPTIC TANKS |
| STORMWATER SYSTEM MAINTENANCE SHALL BE THE RESPONSIBILITY OF THE HOMEOWNERS ASSOCIATION. | |



DRAINAGE BASINS

| Basin Number | Drainage Area |
|--------------|---------------|
| B0 | 14.5 ac. |
| B1 | 83.3 ac. |
| B2 | 73.7 ac. |
| B3 | 50.0 ac. |
| B4 | 9.1 ac. |
| B5 | 1.4 ac. |
| B8 | 4.1 ac. |

TYPICAL LOT

NOTES:

- TREES MUST BE 1" MINIMUM DIAMETER 8" ABOVE THE UPPERMOST ROOTS 5 TO 7 GALLON CONTAINERIZED FLORIDA #1 GRADE OR BETTER 3 MIN REQUIRED

MASTER PLAN
Cross-Tie Ranch Phase III
 Sections 5 and 8, Township 19 South, Range 28 East, Lake County, Florida

PEARNER ENGINEERS & SURVEYORS & PLANNERS AND ASSOCIATES, INC.
 380 North Lincoln Avenue, O'Fallon, Illinois 62458
 OWNER/DEVELOPER:
CROSS-TIE RANCH LIMITED PARTNERSHIP
 518 PLEASANT STREET
 NORTHAMPTON, MA 01060

RECEIVED
 MAR - 3 1994
 27-069-0236
 RECORDS ORLANDO
 FILED BY: J.W.M.
 DATE: JAN. 1994
 PROJECT NO: 921088.001
 Sht. 2 of 10
 FILE NAME: CROSS003.DWG