

IMPROVEMENT PLANS FOR



BUTLER STREET BOAT RAMP - RESTROOM BUILDING AND PARKING IMPROVEMENTS

SECTION 30 TOWNSHIP 15S RANGE 28E

SITE DATA:	
ALTERNATE KEY	1788412 & 3918957
EXISTING FLU	RECREATION
EXISTING ZONING	CP
PROPOSED USE	RESTROOM FACILITY
MAXIMUM BLDG. HEIGHT	9'-10"
PARKING	
EXISTING	
VEHICLE	5
VEHICLE W/ TRAILER	22
HANDICAP	2
HANDICAP W/ TRAILER	2
PROPOSED (IN ADDITION TO EXISTING)	
VEHICLE	8
VEHICLE W/ TRAILER	21
HANDICAP	0
TOTAL PARKING	60
SITE AREA	
	106,632.80 S.F. (2.45 AC.)
TOTAL IMPERVIOUS AREA	
EXISTING IMPERVIOUS	57268.41 S.F. (1.32 AC.)
PROPOSED BUILDING AREA	36664.45 S.F. (0.84 AC.)
PROPOSED PAVEMENT AREA	254.89 S.F.
IMPERVIOUS SURFACE RATIO (ISR)	20349.07 S.F. (0.47 AC.)
FLOOR AREA RATIO (FAR)	0.537
TOTAL OPEN SPACE	0.239%
49364.39 S.F. (1.13 AC.)	
WATER	
SEWER	ST. JOHN'S RIVER UTILITY, INC.
ELECTRIC	ST. JOHN'S RIVER UTILITY, INC.
	CLAY ELECTRICAL COOPERATIVE, INC.

LEGAL DESCRIPTION:

BEGIN AT THE SOUTHEAST CORNER OF BLOCK "54" OF THE TOWN SITE OF ASTOR, FLORIDA, AS RECORDED IN PLAT BOOK 2, PAGE 12, PUBLIC RECORDS OF LAKE COUNTY, FLORIDA, AND RUN N03°14'32"W ALONG THE EAST LINE OF SAID BLOCK "54" A DISTANCE OF 399.41 FEET; THENCE RUN N86°49'28"E, 337.37 FEET TO A POINT ON THE WESTERLY RIGHT-OF-WAY LINE OF STATE ROAD NO. 40; THENCE RUN S00°52'57"E ALONG SAID WESTERLY RIGHT-OF-WAY 47.66 FEET TO THE BEGINNING OF A CURVE CONCAVED NORTHWESTERLY AND HAVING A RADIUS OF 376.26 FEET; RUN THENCE ALONG SAID CURVE AND RIGHT OF WAY LINE THROUGH A CENTRAL ANGLE OF 75°07'08", AN ARC LENGTH OF 493.34 FEET TO THE END OF SAID CURVE; THENCE RUN S86°48'28"W, 41.01 FEET TO THE POINT OF BEGINNING.

AND ALSO:

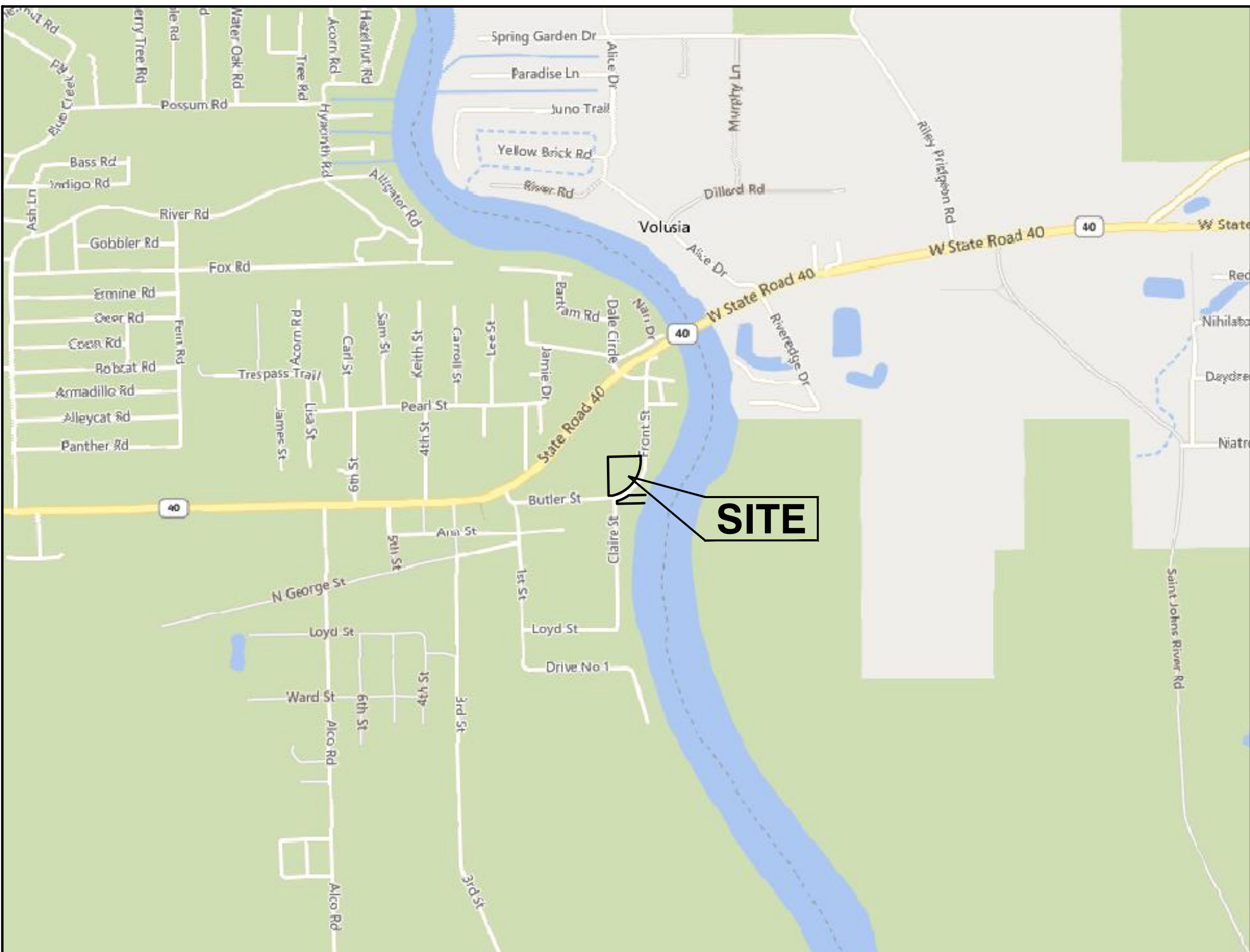
THAT PART OF BUTLER STREET, ACCORDING TO THE TOWN OF ASTOR, EXTENDING EAST FROM THE EAST BOUNDARY OF STATE ROAD 40 TO THE ST. JOHNS RIVER

OWNER/DEVELOPER:

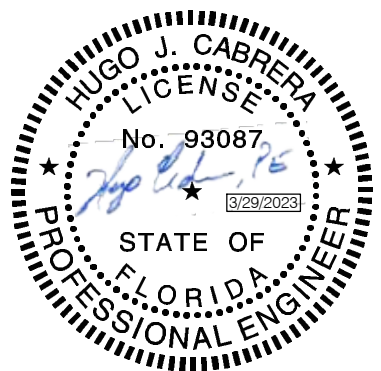
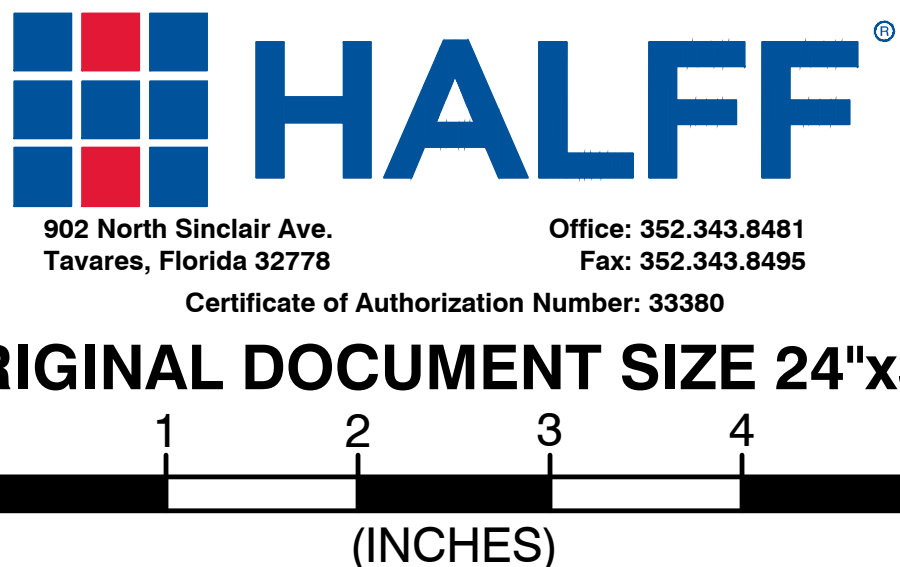
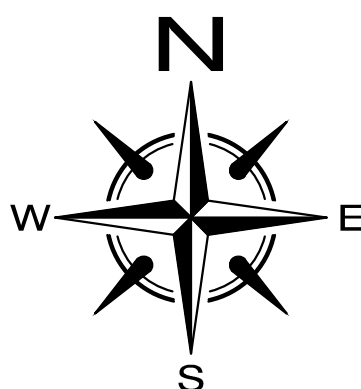
LAKE COUNTY OFFICE OF PARKS & TRAILS
2401 WOODLEA RD.
TAVARES FL 32778
ROBERT BONILLA, DIRECTOR
PHONE: (352) 253-4950
RBONILLA@LAKECONTYFL.GOV

ENGINEER/SURVEYOR:

HALFF ASSOCIATES, INC.
902 N. SINCLAIR AVENUE
TAVARES, FL 32778
HUGO CABRERA, P.E.
(352) 343-8481
HCABRERA@HALFF.COM



VICINITY MAP
1" = 1,000'



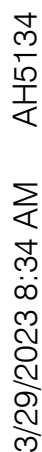
DATE	ISSUE	BY
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DEVELOPMENT REVIEW

PROJECT # 2016050009	APPLICATION REQUEST #
PROJECT NAME: BUTLER STREET BOAT RAMP - RESTROOM BUILDING AND PARKING IMPROVEMENTS	
ALTERNATE KEY # 1788412, 3918957	ORDINANCE #
REVIEWER PLEASE SIGN AND DATE BELOW	
PLANNING AND ZONING: _____	
COMMENTS: _____	
ENVIRONMENTAL: _____	
COMMENTS: _____	
LANDSCAPE: _____	
COMMENTS: _____	
CONCURRENCY: _____	
COMMENTS: _____	
BUILDING SERVICES: _____	
COMMENTS: _____	
FIRE: _____	
COMMENTS: _____	
DEPARTMENT OF HEALTH: _____	
COMMENTS: _____	
PUBLIC WORKS DEPARTMENT: _____	
COMMENTS: _____	
PRELIMINARY/FINAL DEVELOPMENT REVIEW	
APPROVAL: _____	
DATE: _____ DIRECTOR, OFFICE OF PLANNING AND ZONING (OR DESIGNEE)	

INDEX OF SHEETS

- 1 COVER SHEET
- 2 EXISTING CONDITIONS, DEMO, & EROSION CONTROL PLAN
- 3 SITE PLAN
- 4 GRADING PLAN
- 5 UTILITY PLAN
- 6 DETAILS
- 7 PREFABRICATED RESTROOM SPECIFICATIONS
- A2.01 ELEVATION (NORTH & SOUTH VIEW)
- A2.02 ELEVATION (EAST & WEST VIEW)
- A3.01 FLOOR PLAN
- A3.02 ROOF PLAN



LAKE COUNTY, FLORIDA
BUTLER ST.
BOAT RAMP PARKING LOT
IMPROVEMENT PLANS
SITE PLAN

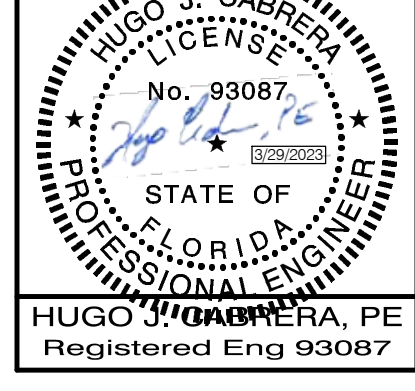


HALFF[®]

Office: 352.343.8481
Fax: 352.343.8495
Certificate of Authorization Number: 33380

902 North Sinclair Ave.
Tavares, Florida 32778

DATE:	JUNE 2022
DESIGNED BY:	HJC
DRAWN BY:	TNJ
CHECKED BY.:	HJC
JOB NO.:	043862.059
FILE NAME:	BUTLER ST.
<h1>Sheet 03</h1>	

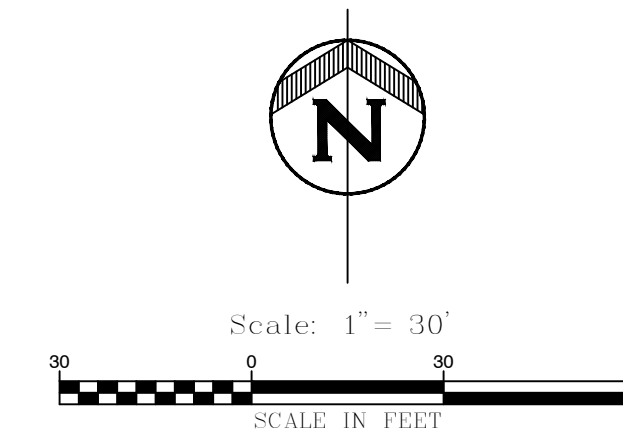




-
- VARIES
- TOP OF BANK ELEV. 4.50
- SIDE SLOPE TYP 4:1
- POND BOTTOM ELEV. 2.75
- SIDE SLOPE TYP 4:1

POND 2 TYPICAL SECTION

-
- The site plan illustrates the layout of a wastewater treatment facility, featuring two main ponds, POND 1 and POND 2, and associated infrastructure. The plan includes the following details:
- Contours and Elevation:** Contour lines are shown for elevations ranging from 4.00 to 6.50. Specific elevations for the top and bottom of the ponds are noted: TOP OF POND CONTOUR ELEV. 4.75 and BOTTOM OF POND CONTOUR 3.25.
 - Structural Details:** The plan shows various structural elements, including weirs (WEIR ELEVATION- 4.10), culverts (e.g., 4.1, 4.6, 4.7, 4.8, 4.9, 5.0, 5.1, 5.2, 5.3, 5.4, 5.5, 5.6, 5.7, 5.8, 5.9, 6.0, 6.1, 6.2, 6.3, 6.4, 6.5), and manholes (BH, MEG).
 - Dimensions and Angles:** Key dimensions and angles are provided for the layout, such as:
 - $L=493.34'$, $R=376.26'$, $\Delta=75^{\circ}07'28''$, $T=289.36'$, $CH=458.75'$, $CB=N38^{\circ}47'09''E$
 - $L=135.07'$, $R=442.26'$, $\Delta=17^{\circ}29'55''$, $T=68.06'$, $CH=134.54'$, $CB=N63^{\circ}45'36''E$
 - $L=135.07'$, $R=442.26'$, $\Delta=17^{\circ}29'55''$, $T=68.06'$, $CH=134.54'$, $CB=N63^{\circ}45'36''E$
 - Orientation and Scale:** The plan includes a north arrow and a scale bar (0 to 100 feet).
 - Other Features:** The plan also shows existing structures, including a building and a parking area, and a proposed access road.



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LAKE COUNTY, FLORIDA
BUTLER ST.
BOAT RAMP PARKING LOT
IMPROVEMENT PLANS
GRADING PLAN



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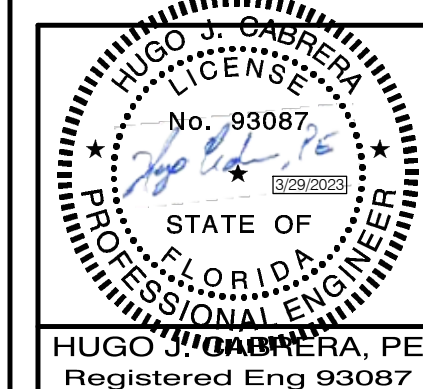
Office: 352.343.8481
Fax: 352.343.8495

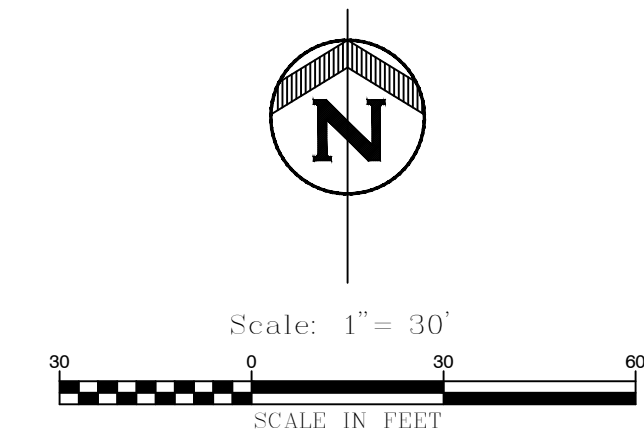
Certificate of Authorization Number: 333980

902 North Sinclair Ave.
Tavares, Florida 32778

DATE:	JUNE 2022
DESIGNED BY:	HJC
DRAWN BY:	TNJ
CHECKED BY.:	HJC
JOB NO.:	043862.059
FILE NAME:	BUTLER ST.

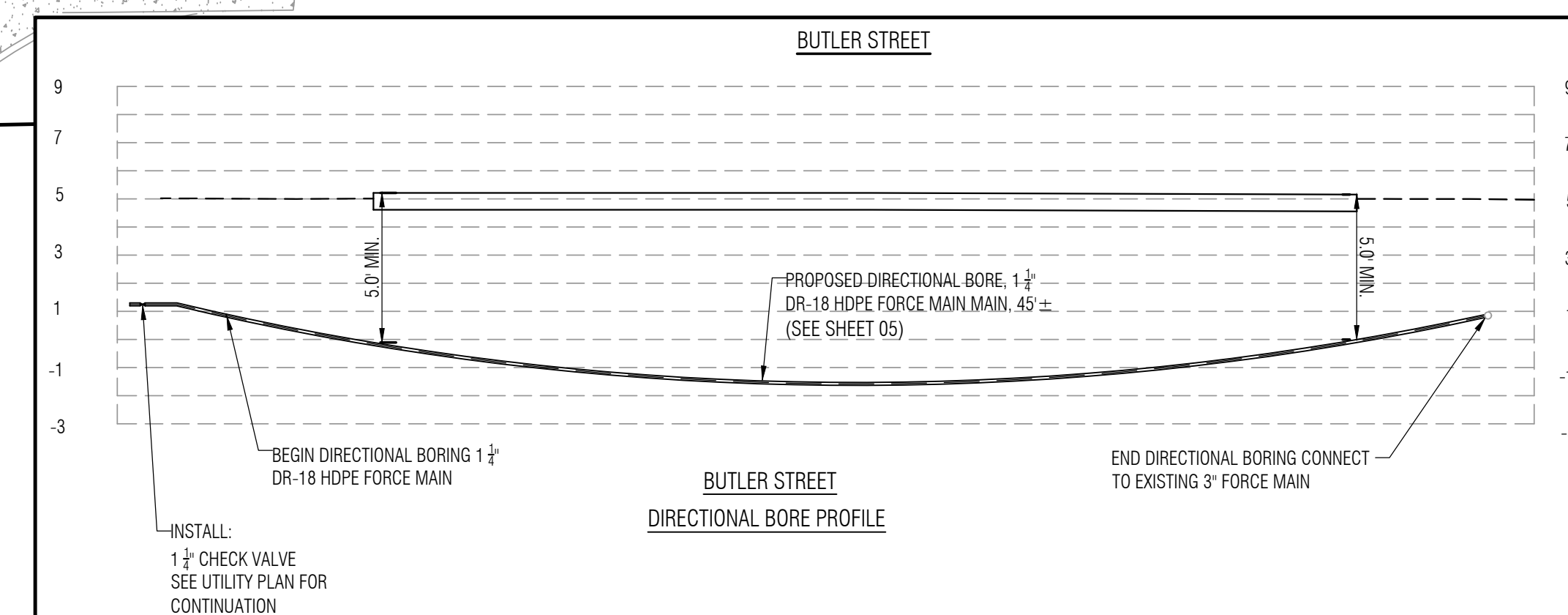
Sheet 04





NOTES:

1. TOP OF GRINDER PUMP ENCLOSURE TO BE INSTALLED ABOVE THE ESTABLISHED BASE FLOOD ELEVATION (6.4 FT NAVD 1988)



DATE	REVISION
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LAKE COUNTY, FLORIDA
BUTLER ST.
BOAT RAMP PARKING LOT
IMPROVEMENT PLANS
UTILITY PLAN



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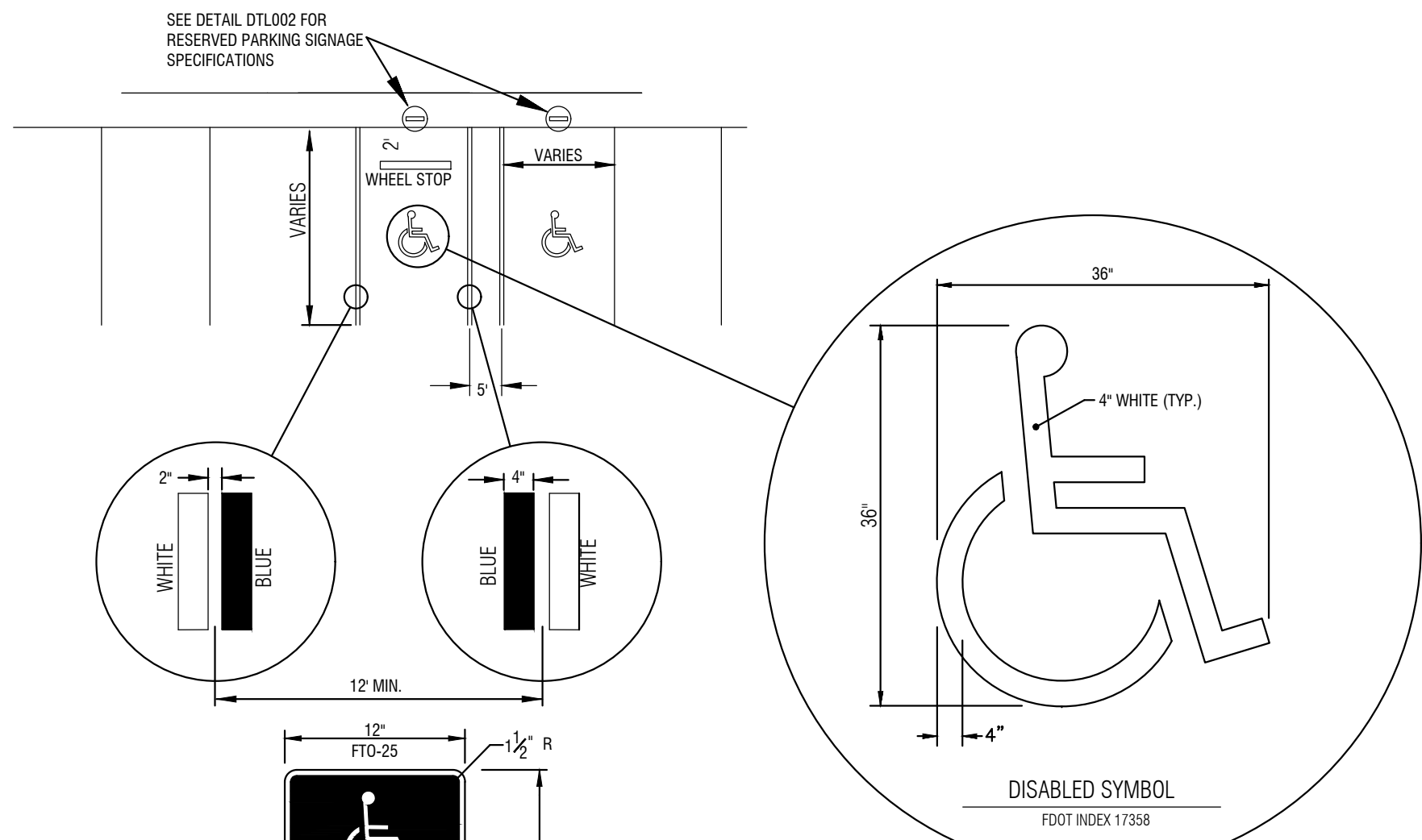
902 North Sinclair Ave.
Tavares, Florida 32778

Office: 352.343.8481
Fax: 352.343.8495

Certificate of Authorization Number: 33390

DATE:	JUNE 2022
DESIGNED BY:	HJC
DRAWN BY:	TNJ
CHECKED BY.:	HJC
JOB NO.:	043862.059
FILE NAME:	BUTLER ST.
Sheet 05	





NOTE: (HANDICAP SIGN ONLY)

- ALL LETTERS SHALL BE BLACK AND 1" IN HEIGHT. LETTERS ARE TO BE SERIES "B" OR "C", PER MUTCD.
- TOP PORTION OF SIGN SHALL HAVE REFLECTORIZED (ENGINEERING GRADE) BLUE BACKGROUND WITH WHITE REFLECTORIZED LEGEND AND BORDER.
- BOTTOM PORTION OF SIGN SHALL HAVE A REFLECTORIZED (ENGINEERING GRADE) WHITE BACKGROUND WITH BLACK BORDER.
- ONE SIGN REQUIRED FOR EACH PARKING SPACE.
- HEIGHT OF SIGN SHALL BE IN ACCORDANCE WITH SECTION 24-23 OF THE MANUAL ON UNIFORMED TRAFFIC CONTROL DEVICES (MUTCD)

NOTES:

- EACH SUCH PARKING SPACE SHALL BE CONSPICUOUSLY OUTLINED IN BLUE PAINT, AND SHALL BE POSTED AND MAINTAINED OUTLINED IN BLUE PAINT, AND SHALL BE POSTED AND MAINTAINED WITH A PERMANENT, ABOVE GRADE SIGN BEARING THE INTERNATIONAL SYMBOL OF ACCESSIBILITY, OR THE CAPTION "PARKING BY DISABLED PERMIT ONLY." OR BEARING BOTH SUCH SYMBOL AND CAPTION. SUCH SIGNS SHALL NOT BE OBTURED BY A VEHICLE PARKED IN THE SPACE. ALL HANDICAPPED PARKING SPACES MUST BE SIGNED AND MARKED IN ACCORDANCE WITH THE STANDARDS ADOPTED SIGNED AND MARKED IN ACCORDANCE WITH THE STANDARDS ADOPTED BY THE DEPARTMENT OF TRANSPORTATION. THE CITY OF TAVARES DISCOURAGES VARIATIONS FROM THE STANDARD.
- FL DOT RECOMMENDS MEASURING PARKING SPACE WIDTH FROM CENTER TO CENTER BETWEEN BLUE AND WHITE STRIPES.

HANDICAP PARKING STRIPING
FOR SINGLE SPACES

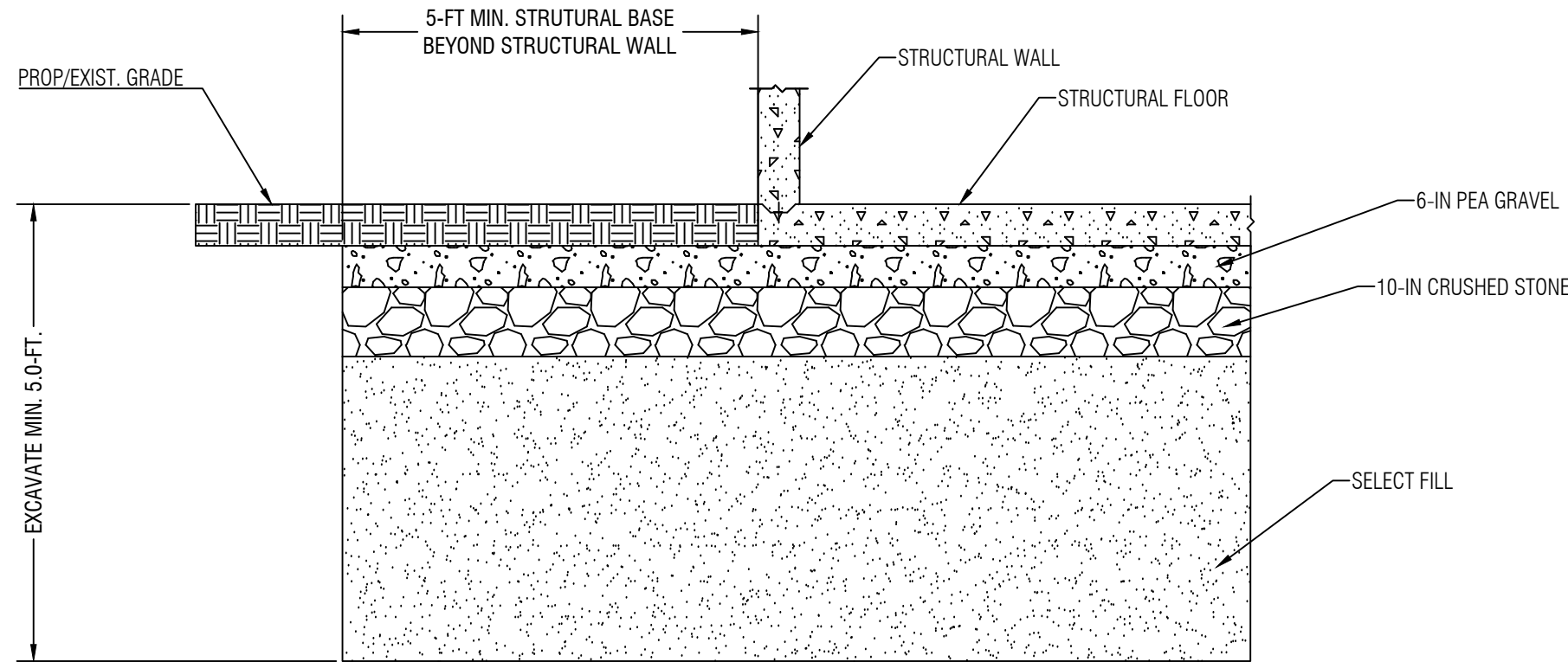
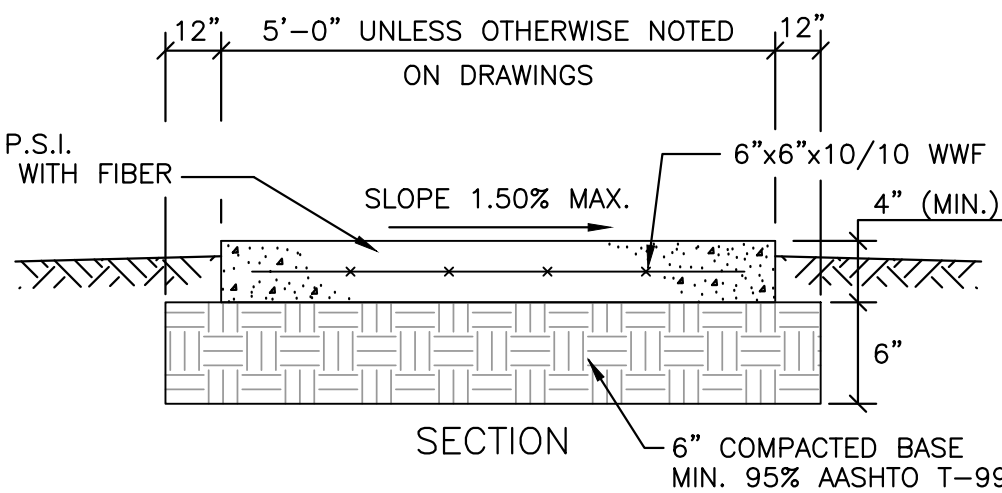
LOCATION OF PUBLIC WATER SYSYEM MAINS IN ACCORDANCE WITH F.A.C. RULE 62-555.314

Other Pipe	Horizontal Separation	Crossings (1)	Joint Spacing @ Crossings (Full Joint Centered)
Storm Sewer, Stormwater Force Main, Reclaimed Water (2)	 3 ft. minimum	 12 inches is the minimum, except for storm sewer, then 6 inches is the minimum and 12 inches is preferred	 Alternate 3 ft. minimum
Vacuum Sanitary Sewer	 10 ft. preferred 3 ft. minimum	 12 inches preferred 6 inches minimum	 Alternate 3 ft. minimum
Gravity or Pressure Sanitary Sewer, Sanitary Sewer Force Main, Reclaimed Water (4)	 10 ft. preferred 6 ft. minimum (3)	 12 inches is the minimum, except for gravity sewer, then 6 inches is the minimum and 12 inches is preferred	 Alternate 6 ft. minimum
On-Site Sewage Treatment & Disposal System	10 ft. minimum	---	---

- (1) Water main should cross above other pipe. When water main must be below other pipe, the minimum separation is 12 inches.
(2) Reclaimed water regulated under Part III of Chapter 62-610, F.A.C.
(3) 3 ft. for gravity sanitary sewer where the bottom of the water main is laid at least 6 inches above the top of the gravity sanitary sewer.
(4) Reclaimed water not regulated under Part III of Chapter 62-610, F.A.C.

Disclaimer – This document is provided for your convenience only. Please refer to F.A.C. Rule 62-555.314 for additional construction requirements.

CONCRETE SIDEWALK SECTION WITHIN
LAKE COUNTY RIGHT-OF-WAY

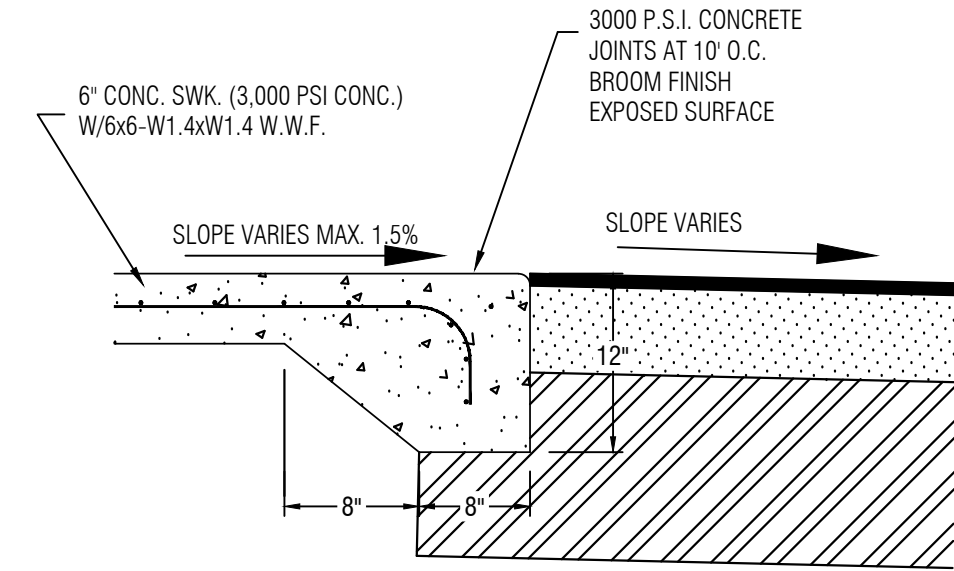


RESTROOM FACILITY STRUCTURAL FILL

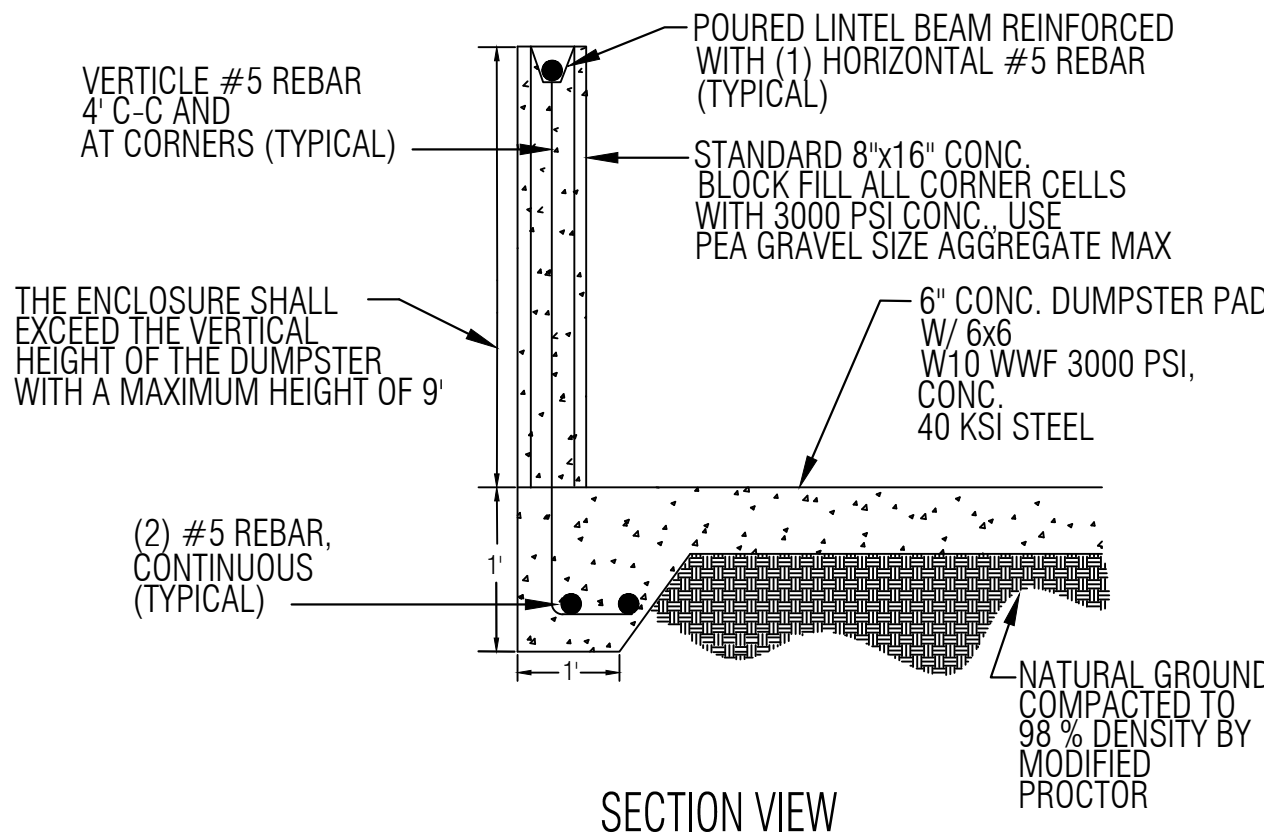
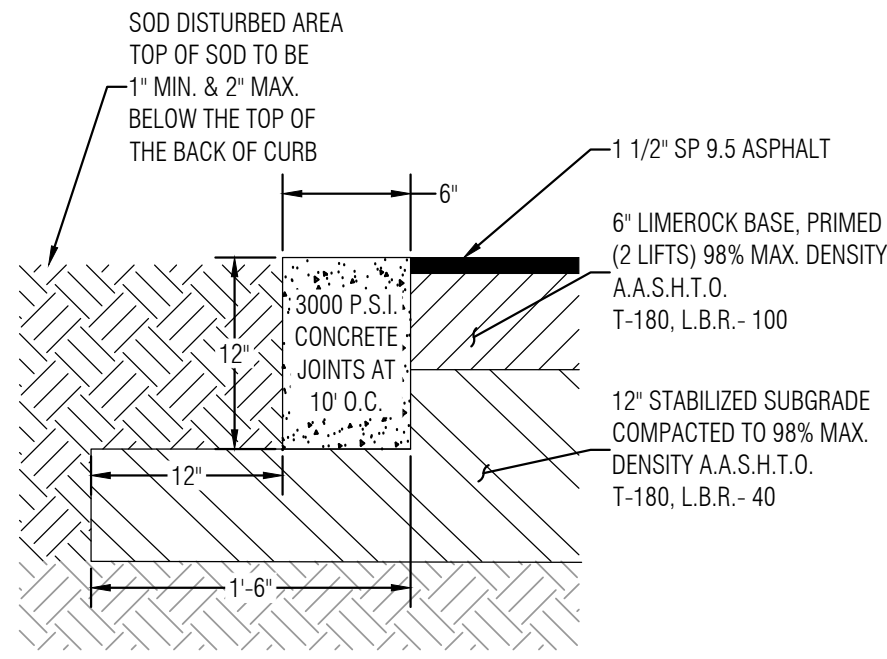
DETAIL NOTE

- ENCOUNTERED, BURIED ORGANIC DEBRIS IS CONSIDERED UNSUITABLE FOUNDATION SOIL AND SHOULD BE REMOVED AND REPLACED WITH SUITABLE COMPACTED FILL MATERIAL WITHIN THE PROPOSED BUILDING AND A MINIMUM OF 5-FT OUTSIDE THE STRUCTURAL PERIMETER.
- THE REMOVAL OF THESE UNSUITABLE ORGANIC SOILS AND DEBRIS SHOULD START AT THE BORING B-1 LOCATION WHERE THESE SOILS WERE ENCOUNTERED AND SHOULD CONTINUE IN ALL DIRECTIONS UNTIL ALL UNSUITABLE ORGANIC SOILS ARE REMOVED FROM THE BUILDING STRUCTURE AREA.

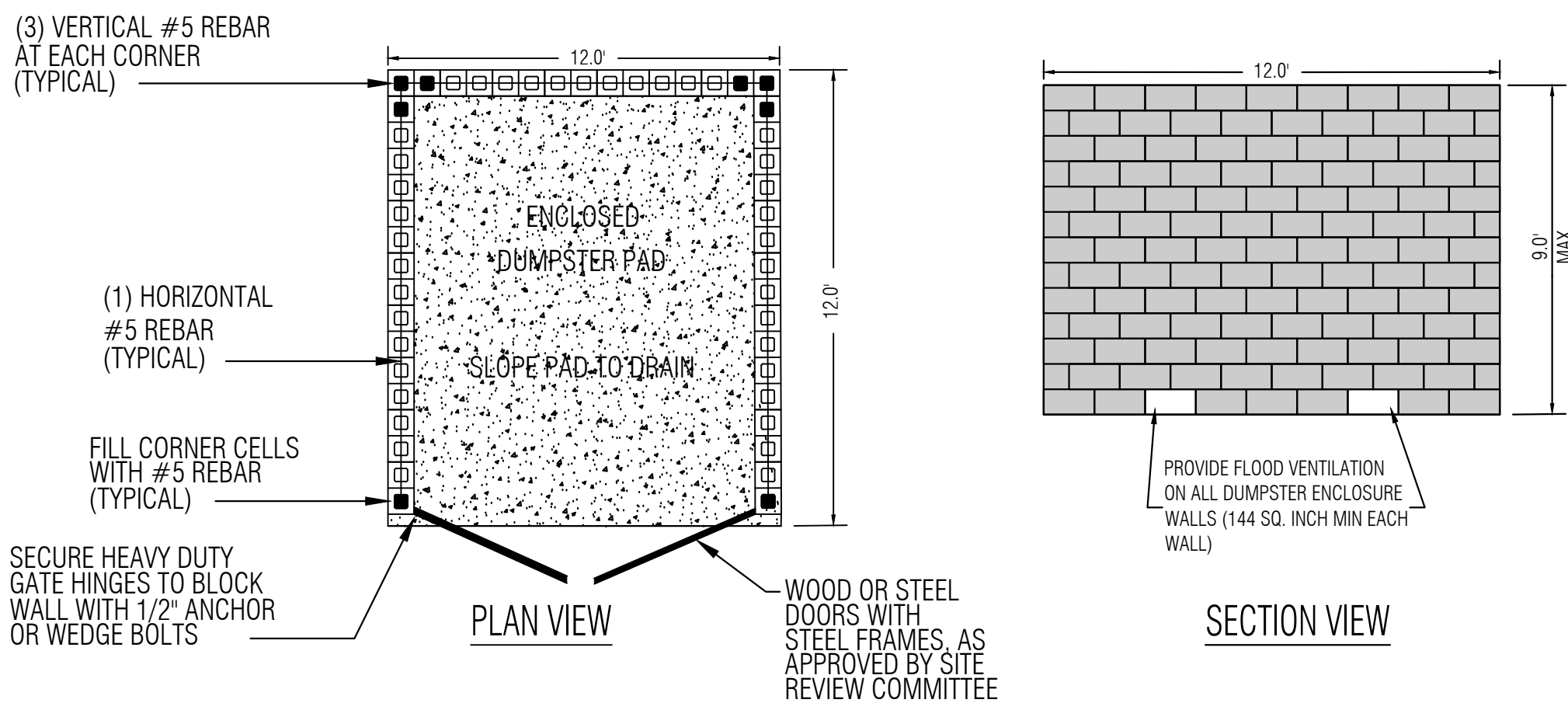
FLUSH SIDEWALK SECTION



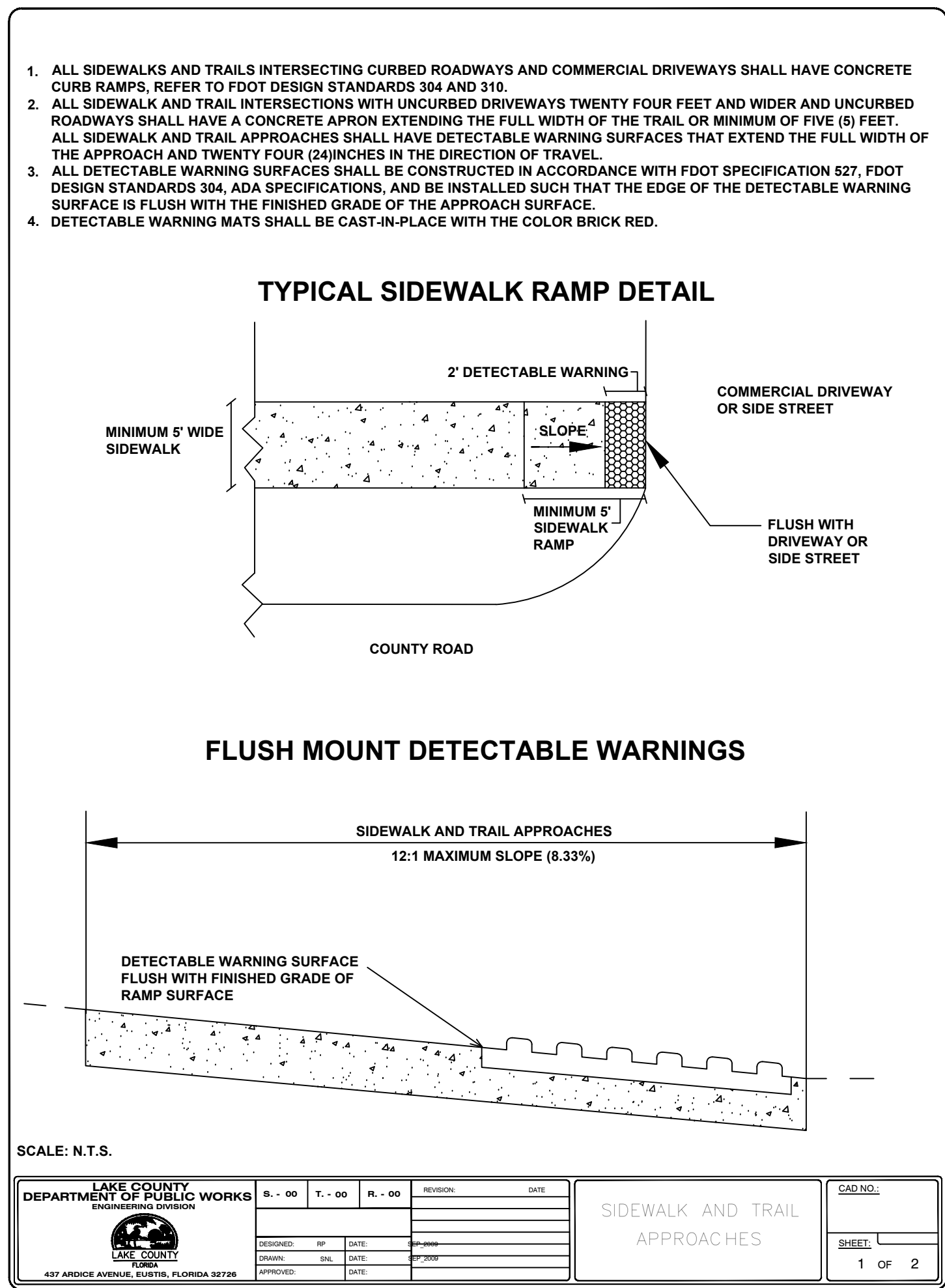
6" RIBBON CURB & PAVEMENT DETAIL



SECTION VIEW



DUMPSTER DETAILS
NOT TO SCALE



SCALE: N.T.S.

LAKE COUNTY DEPARTMENT OF PUBLIC WORKS ENGINEERING DIVISION	DESIGNED BY: HJC CHECKED BY: TNJ DATE: 06/01/2023	REVISION: 1 DATE: 06/01/2023	DATE: 06/01/2023	SHEET: 1 OF 2
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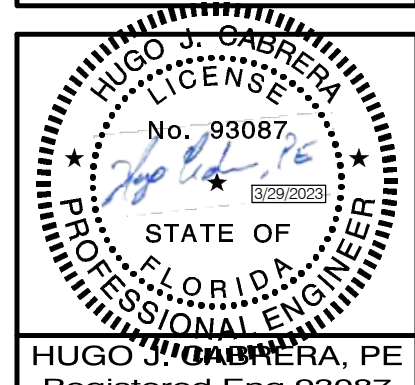
DATE	REVISION
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LAKE COUNTY, FLORIDA
BUTLER ST.
BOAT RAMP PARKING LOT
IMPROVEMENT PLANS
DETAILS



DATE:	JUNE 2022
DESIGNED BY:	HJC
DRAWN BY:	TNJ
CHECKED BY:	HJC
JOB NO.:	043862.059
FILE NAME:	BUTLER ST.

Sheet 06



PRECAST CONCRETE PLUMBED RESTROOM

SPECIFICATION SHEET

PART 1 - GENERAL

1.01 SUMMARY

Contractor or manufacturer to furnish a turn-key precast concrete plumbed restroom to be brought to the site in assembled modules or site assembled depending on size and set upon a level and compacted granular rock sub-base with up to a 100 ton crane, all included in the bid price. All site clearing and rough grading to within 6 inches of level are done by contractor, excavation for restroom sub-base to be done by contractor or manufacturer. To be an EasiSet/EasiSpan Building as manufactured by Leesburg Concrete Company Incorporated. Contractor or Manufacturer will pull all permits and connect to utilities.

1.02 QUALITY ASSURANCE

- A. Florida DBPR Insignia required, Section 553, Part I F.S.
- B. ACI-318-08, "Building Code Requirements for Reinforced Concrete". Concrete Reinforcing Institute, "Manual of Standard Practice".
- C. ANSI/ASCE-7-10 "Building Code Requirement for Minimum Design Loads in Buildings and Other Structures".
- D. Florida Building Code 2021, 7th Edition
- E. IBC 2021
- F. Concrete Reinforcing Institute, "Manual of Standard Practice".
- G. UL-752 test method level 5 for bullet resistance on concrete surfaces, certified by an independent ballistic laboratory.
- H. Fabricator must be a certified producer/member of The National Precast Concrete Association (NPCA).
- I. No alternate building designs to the pre-engineered building as produced by Leesburg Concrete will be allowed unless pre-approved by the owner 10 days prior to the bid date.

1.03 DESIGN REQUIREMENTS

- A. Design Loads
 - 1. Seismic Design Category 'C', Importance Factor 1
 - 2. Standard Live Roof Load - 60 PSF
 - 3. Standard Floor Load - 250 PSF (if precast floor provided by building manufacturer)
 - 4. Standard Wind Loading - ASCE 7-10 conforming to geographic area.
 - 5. Designed to meet the requirements of the Americans With Disabilities Act Requirements and Uniform Federal Accessibility Standard including as of the date of these specifications.
- B. Roof: To be post tensioned. The roof shall extend 4" beyond the wall panel and have a turndown design which extends ½" below the top edge of the wall panels to prevent water migration into the building along the top of wall panels.
- C. Floor - The floor is provided and the walls sit on top of the floor with the floor extending to the edge of the walls for additional strength. Floor should be a minimum of 5 inches thick and have a looped post tension cable. Floor will have a ½" recessed keyway around the perimeter to accept the walls so as to form a physical water barrier.

1.04 SUBMITTALS

- A. Drawings and calculations sealed by a professional engineer, licensed to practice in the state where the project is located, shall be submitted for approval.
- B. Manufacturer to provide cut sheets on all attached fixtures.

PART 2 - PRODUCTS

2.01 MATERIALS

- A. Concrete: Steel-reinforced, 5000 PSI minimum 28-day compressive strength.
- B. Reinforcing Steel: ASTM A615, grade 60 unless otherwise specified.
- C. Post-tensioning Strand: Roof and floor shall be post-tensioned with a 41K polystrand CP50, 50", 270 KSI, 7-wire strand post tension cable, enclosed within a greased plastic sheath (ASTM A416).
- D. Caulking: All joints between panels shall be caulked on the exterior and interior surface of the joints. Caulking shall be SIKAFLEX-1A elastic sealant or equal. Exterior caulk joint to be 3/8" x 3/8" square so that sides of joint are parallel for correct caulk adhesion.
- E. Vents: Two screened aluminum vents to be cast in rear wall. Vents shall be SUNVENT 8"x16"with bug screen, or equal
- F. Panel Connections: All panel connections shall be welded together utilizing imbedded weld plates with Nelson anchors. Assembly shall be welded by a certified welder.

2.02 ACCESSORIES

- 1. Doors and Frames: 16 gauge galvanized 3068 HM door and frame, 4 7/8" throat, Schlage ND series heavy duty grade 1 cylindrical lockset and LCN series 1 Closer surface mounted. All doors and frames are in accordance with NOA 10-0209.07
- 2. ADA Stainless Steel Mirror
- 3. Stainless Steel, Jumbo Roll Type, Toilet tissue dispenser Bobrick model # BOB-2740
- 4. Grab bar 36" Bobrick model # B 5806.99x36.
- 5. Grab bar 42" Bobrick model # B 5806.99x42.
- 6. Stainless Steel, Refillable, Soap Dispenser by Bobrick model # BOB B-2112
- 7. Wall mounted trash can by Bobrick model # BOB-279
- 8. Door signs by Hillman with Braille, Men, Women, Family
- 9. Kohler K-1722-0 lavatory sink.
- 10. Kohler K-84323 toilet.
- 11. Sloan Royal Flushometer manual flush valve to include override flush button with Hardwire Power Supply
- 12. Sloan Sensor Faucet with Hardwire Power Supply
- 13. Solatube 160 DS 10" skylight in each restroom
- 14. Interior Lighting
- 15. Xlerator® Hand Dryer Model XL-BW
- 16. Drinking Water Fountain - Elkay Model VRCTL8WSK Bi-Level With Bottle Filler; ADA compliant installed on the front of restroom building
- 17. Exhaust Fan
- 18. Baby Changing Station
- 19. Door locks with a minimum of four (4) master keys

2.03 FINISHES

- A. Interior of Building: Smooth form finish on all interior panel surfaces.

- B. Exterior of Building shall be form lined finished in a pattern selected from the Lake County Building Finish Options page and noted on the drawings.
- C. Paint: 1 coat of Loxon primer and two coats of Duracraft paint in owner's choice of exterior color. Inside walls to be painted in white, floor to be painted in Sherwin Williams HC Silver Gray # 124.

PART 3 - EXECUTION

3.01 SITE PREPARATION

- A. Contractor or Manufacturer to bring all necessary utilities to a determined centralized point so as to align with an opening in the chase floor as called out in the manufacturer's provided plans.
- B. Building shall bear fully on a bed of crushed 3/8"stone base that is at least one foot larger in all directions than the footprint of the building.
- C. Pea gravel shall have a minimum depth of 6".
- D. Stone shall have a minimum depth of 10" down to firm sub grade. The vertical soil capacity under stone shall be compacted to have minimum bearing of 1,500 pounds per square foot. Stone shall be 3/8" or smaller and must be screeded level within ¼" in both directions. Stone shall be placed within a perimeter form with flat and level top edge for screeding. Forming material shall remain around stone after the building is set.
- E. The crushed stone base shall be kept within the confines of the soil or perimeter form. Do not allow the base to become unconfined so that it may wash, erode, or otherwise be undermined.
- F. Select fill should be inorganic, non-plastic, granular soil with less than 10% passing the number 200 sieve. The fill should be placed in level lifts not to exceed 6 inches loose and should be compacted to a minimum of 95 percent (%) of the soils modified proctor maximum dry density as determined by ASTM Specification D-1557. In-place density tests should be performed on each lift by an experienced engineering technician working under the direction of a registered geotechnical engineer to verify that the recommended degree of compaction has been achieved.

OR

If building is placed on pavement or concrete slab, substrate below pavement or slab must have a vertical soil capacity of 1,500 pounds per square foot. Place stone or sand to 1" above highest point of area where building will be placed and at least 1'-0" wide all around the building footprint. Retain stone or sand with a perimeter form to prevent the material from washing out.

- G. Provide positive drainage for the fill, pad, or slab as required.
- H. Contractor or Manufacturer to haul off excess dirt from excavation for sub-base and sidewalk.

3.02 ACCESS

The contractor must provide for a level, unobstructed area large enough for a 100 ton crane and a tractor-trailer to park adjacent to the pad. Crane must be able to place outriggers within 5'-0" of edge of pad, and truck and crane must be able to get side by side under their own power. No overhead obstructions may be within 75' radius of center of pad. Firm roadbed with turns that allow 65' lowbed tractor-trailer must be provided directly to site. No building shall be placed closer than 2'-0" to an existing structure.

DATE	REVISION
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LAKE COUNTY, FLORIDA

BUTLER ST.
BOAT RAMP PARKING LOT
IMPROVEMENT PLANS

PREFABRICATED RESTROOM
SPECIFICATIONS



HALFF[®]

902 North Sinclair Ave.
Tavares, Florida 32778

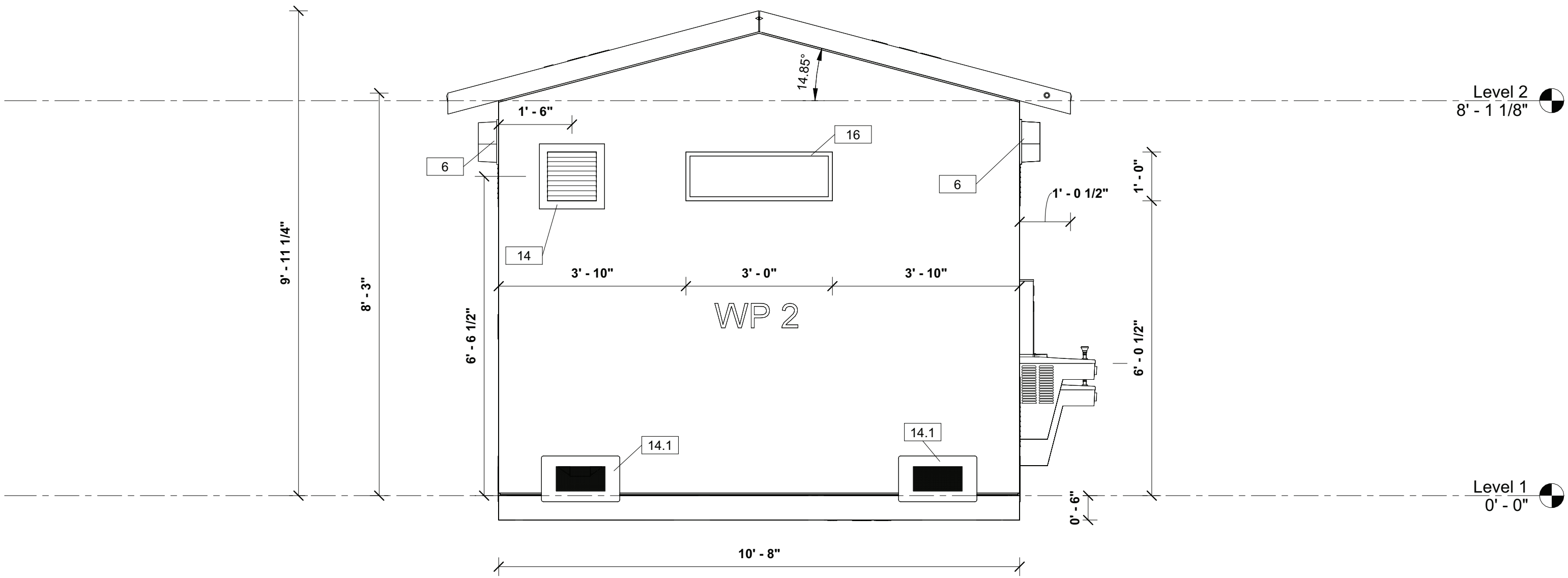
Office: 352.343.8481
Fax: 352.343.8495
Certificate of Authorization Number: 33380

DATE:	JUNE 2022
DESIGNED BY:	HJC
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JOB NO.:	043862.059
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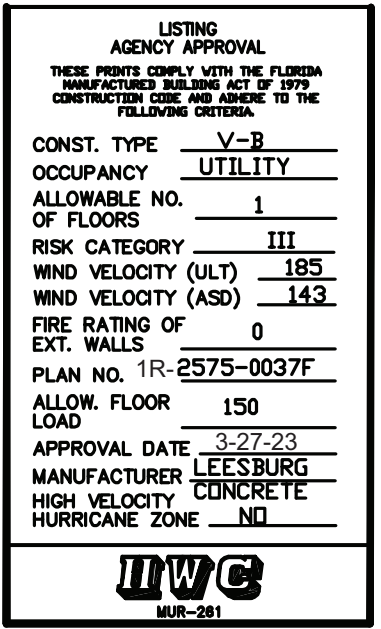
Sheet 07

HUGO J. GACHERA
LICENSE
No. 93087
STATE OF FLORIDA
PROFESSIONAL ENGINEER
HUGO J. GACHERA, PE
Registered Eng 93087

NOTE:
THE SPECS SHOWN ON THIS SHEET ARE FOR REFERENCE ONLY. CONTRACTOR SHALL CONSULT ARCHITECTURAL PLANS. ANY DISCREPANCIES BETWEEN THIS SHEET AND THE ARCHITECTURAL PLANS MUST BE BROUGHT TO THE COUNTY'S ATTENTION IMMEDIATELY FOR CLARIFICATION.



1 North
1/2" = 1'-0"



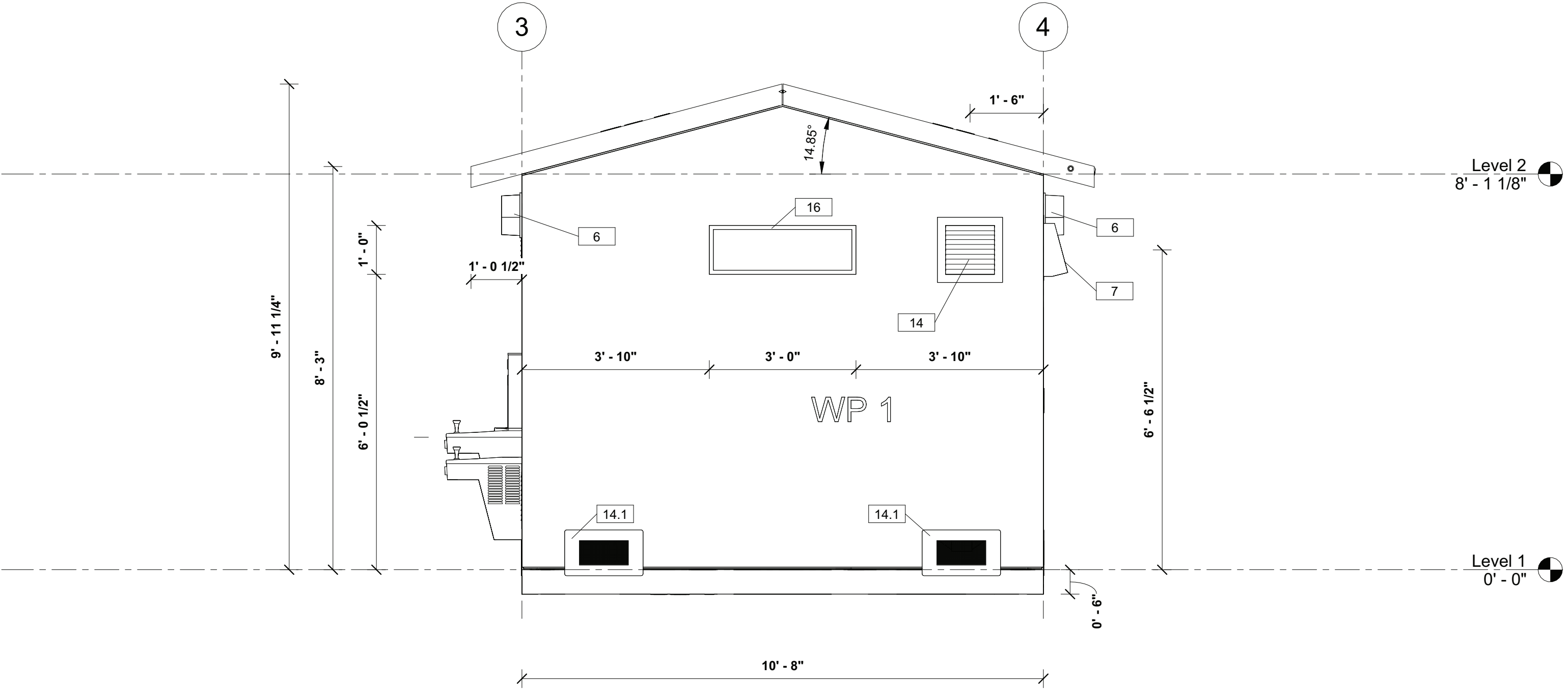
STATE STAMP

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Date: 2023.03.07 14:43:13 -05'00'

ENG STAMP

ELECTRICAL COMPONENT SCHEDULE						
TYPE MARK	DESCRIPTION	MFG	MODEL #	QUANTITY	WATT	VOLTAGE
1	16 CIRCUIT - 32 SPACE - 100 AMP MAIN BREAKER LOAD CENTER			1		
6	BUILDING MOUTED DOWN LIGHT - DARK SKY FULL CUTOFF	ENVOY	ELEDWP30W	3	33W LED	120V
7	WALL MOUTED FAN	FANTECH	RVF 4	3	19W	120V
17	4000K 4' LED VAPOR-TIGHT LIGHT	ENVOY	EBVTPLED	4	32W	120V
18	GFI OUTLET			4		120V
20	PHOTOCELL FAN/LIGHT CONTROL	RAB	LO9S2500/120	4		120V
21	XELERATOR HAND DRYER	EXCEL	TBD	3	612	120V

Accessory Schedule 2		
Type Mark	Family	Count
14	12 x 12 Metal Louver (See Submittal)	7
14.1	8x16 Flood and Ventilation Vent (See Submittal)	8
16	Window FL1549.1 or FL21639	4



2 South
1/2" = 1'-0"

Ini.	R #
1	2
3	4

Revision Description

Date

Butler Street Boat Ramp

CJ 763

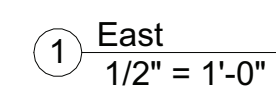
Scale
1/2" = 1'-0"

Drawn By
Chad Zachary

Issue Date
2/25/2023 10:09:11 AM

Elevation

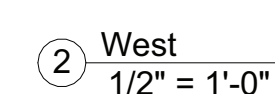
A2.01



PLUMBING AND ELECTRICAL SYSTEMS ARE SITE INSTALLED
SUBJECT TO THE LOCAL AUTHORITY HAVING JURISDICTION



② West
 $1/2" = 1'-0"$

A2.02

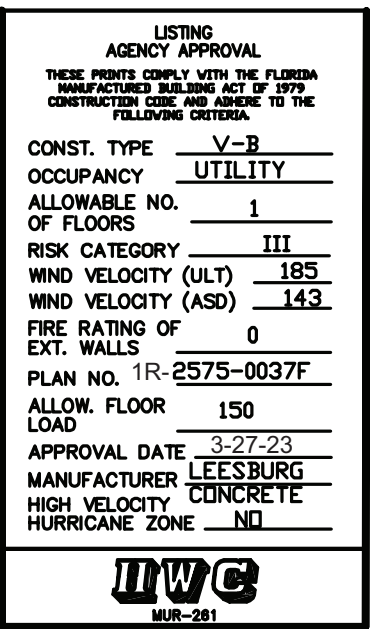
Plumbing Fixture Schedule		
Type Mark	Type	Count
10	Drinking Fountain VRCTL8WSK	1
11	Private - 1.6 gpf	3
12	Stainless Steel - CWS - Toiletpaper - Matt brushed	3
32	Wall Mount Lav	3

Accessory Schedule		
Type Mark	Family	Count
5	42 in Grab Bar	3
9	36 in Grab Bar	3
12.2	4x6 Weld Plate	53
14	12 x 12 Metal Louver (See Submittal)	7

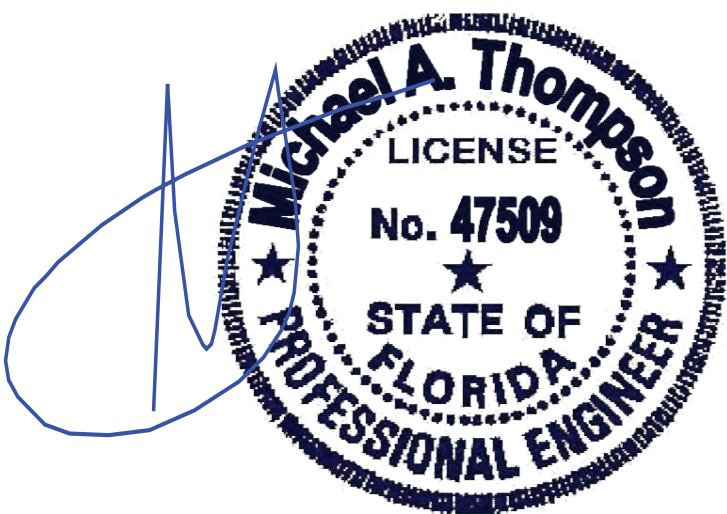
Specialty Equipment Schedule		
Type Mark	Type	Count
13	Baby Changing Station	3
22	Soap Dispenser	3

ELECTRICAL COMPONENT SCHEDULE						
TYPE MARK	DESCRIPTION	MFG	MODEL #	QUANTITY	WATT	VOLTAGE
1	16 CIRCUIT - 32 SPACE - 100 AMP MAIN BREAKER LOAD CENTER			1		
6	BUILDING MOUTED DOWN LIGHT - DARK SKY FULL CUTOFF	ENVOY	ELEDWP30W	3	33W LED	120V
7	WALL MOUTED FAN	FANTECH	RVF 4	3	19W	120V
17	4000K 4' LED VAPOR-TIGHT LIGHT	ENVOY	EBVTPLED	4	32W	120V
18	GFI OUTLET			4		120V
20	PHOTOCCELL FAN/LIGHT CONTROL	RAB	LO9S2500/120	4		120V
21	XELERATOR HAND DRYER	EXCEL	TBD	3	612	120V

PLUMBING AND ELECTRICAL SYSTEMS ARE SITE INSTALLED
SUBJECT TO THE LOCAL AUTHORITY HAVING JURISDICTION



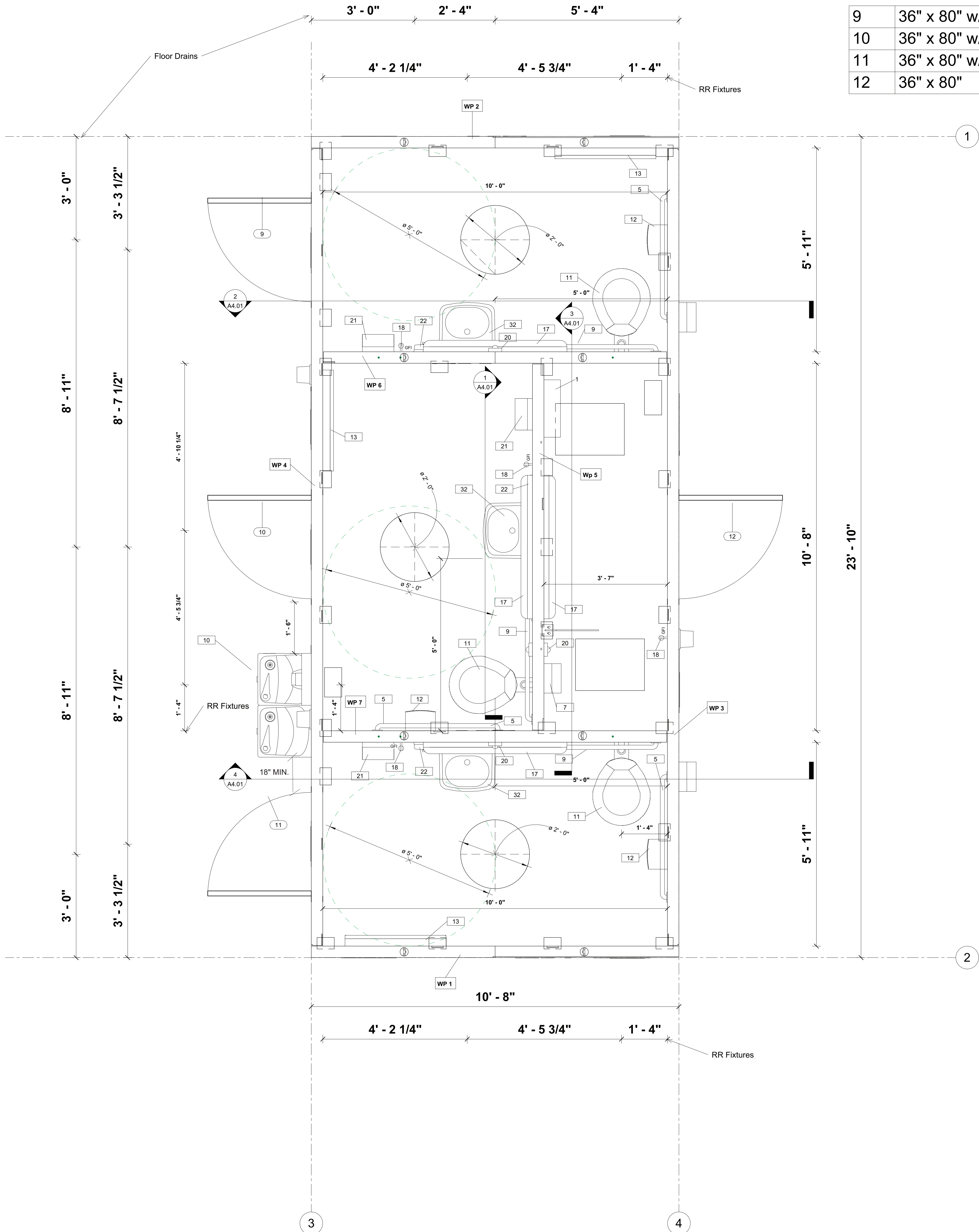
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Door Schedule		
Mark	Type	Count
9	36" x 80" w/ Louver	1
10	36" x 80" w/ Louver	1
11	36" x 80" w/ Louver	1
12	36" x 80"	1



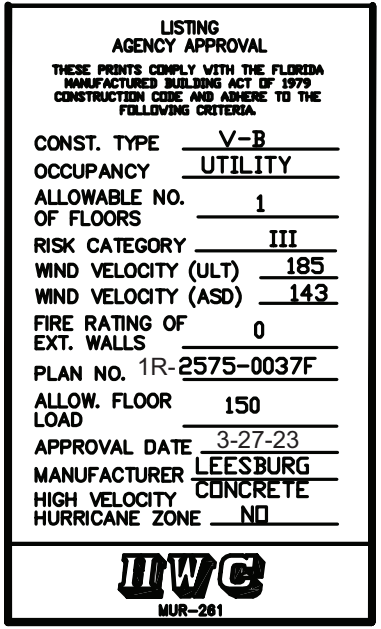
Rev. R #	Ini.	R #	Revision Description	Date
1		2		
2		3		
3		4		

Butler Street Boat Ramp

CJ 763

Scale	3/4" = 1'-0"
Drawn By	Chad Zachary
Issue Date	2/25/2023 10:09:30 AM

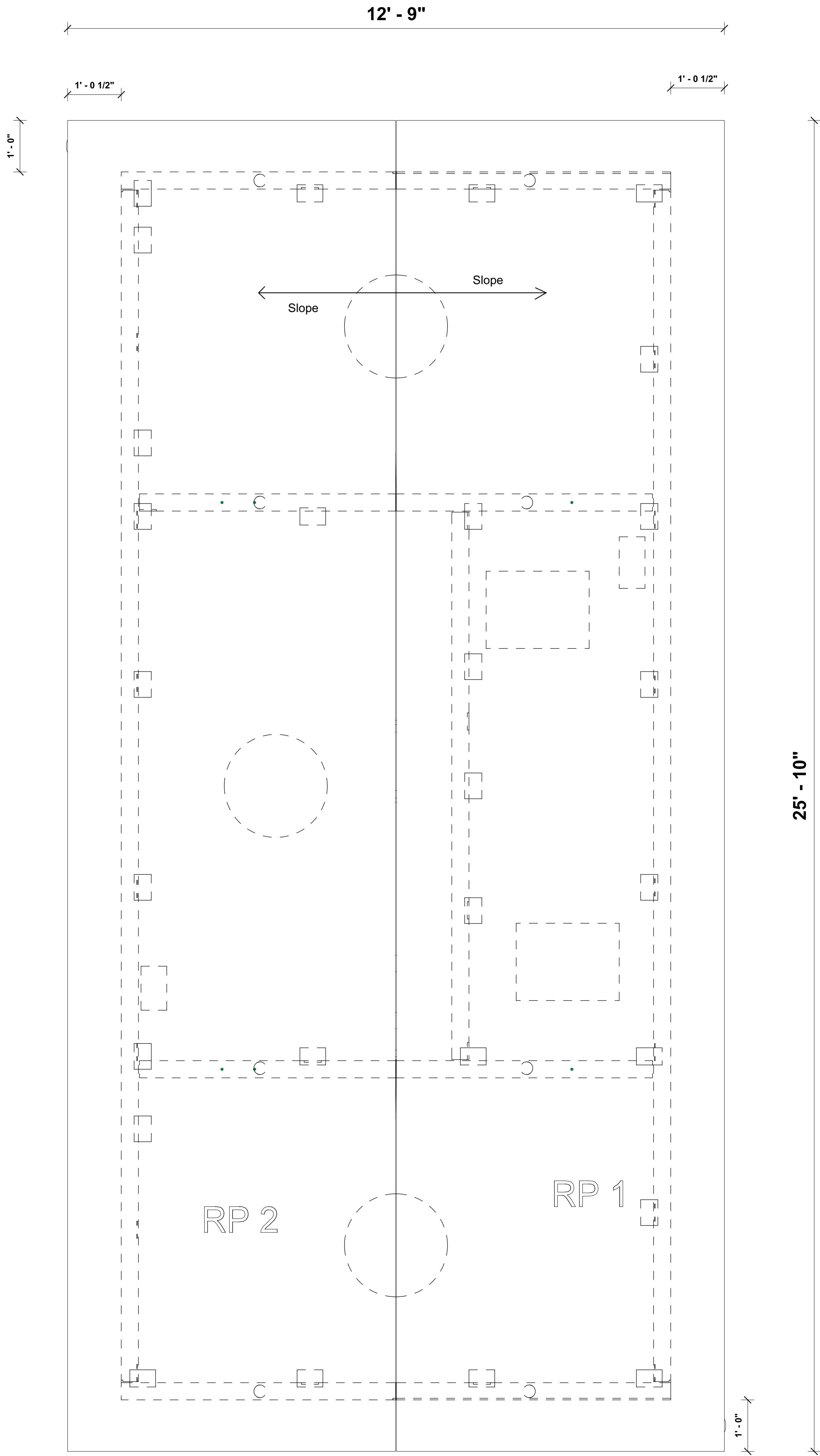
Floor Plan




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ENG STAMP



1 Roof Plan
3/4" = 1'-0"

		Butler Street Boat Ramp		CJ 763	
Scale		3/4" = 1'-0"		Drawn By	
Issue Date		2/25/2023 10:09:42 AM		Roof Plan	
A3.02		Revision Description		Date	
1					
2					
3					
4					