

The Vista at Cherry Lake Preliminary Plat

City of Groveland, Florida

December 3, 2015

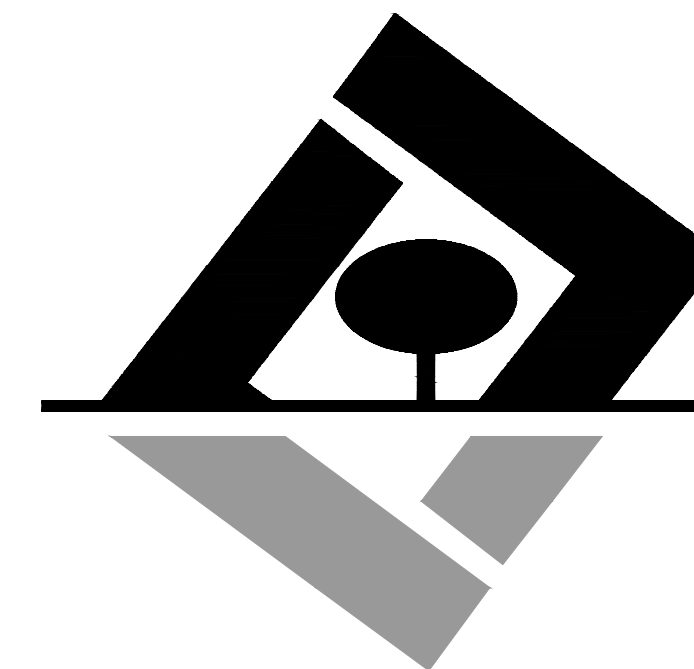
Parcel I.D. # 03-22-25-0003-000-00-200

for

by

Red Jacket Development

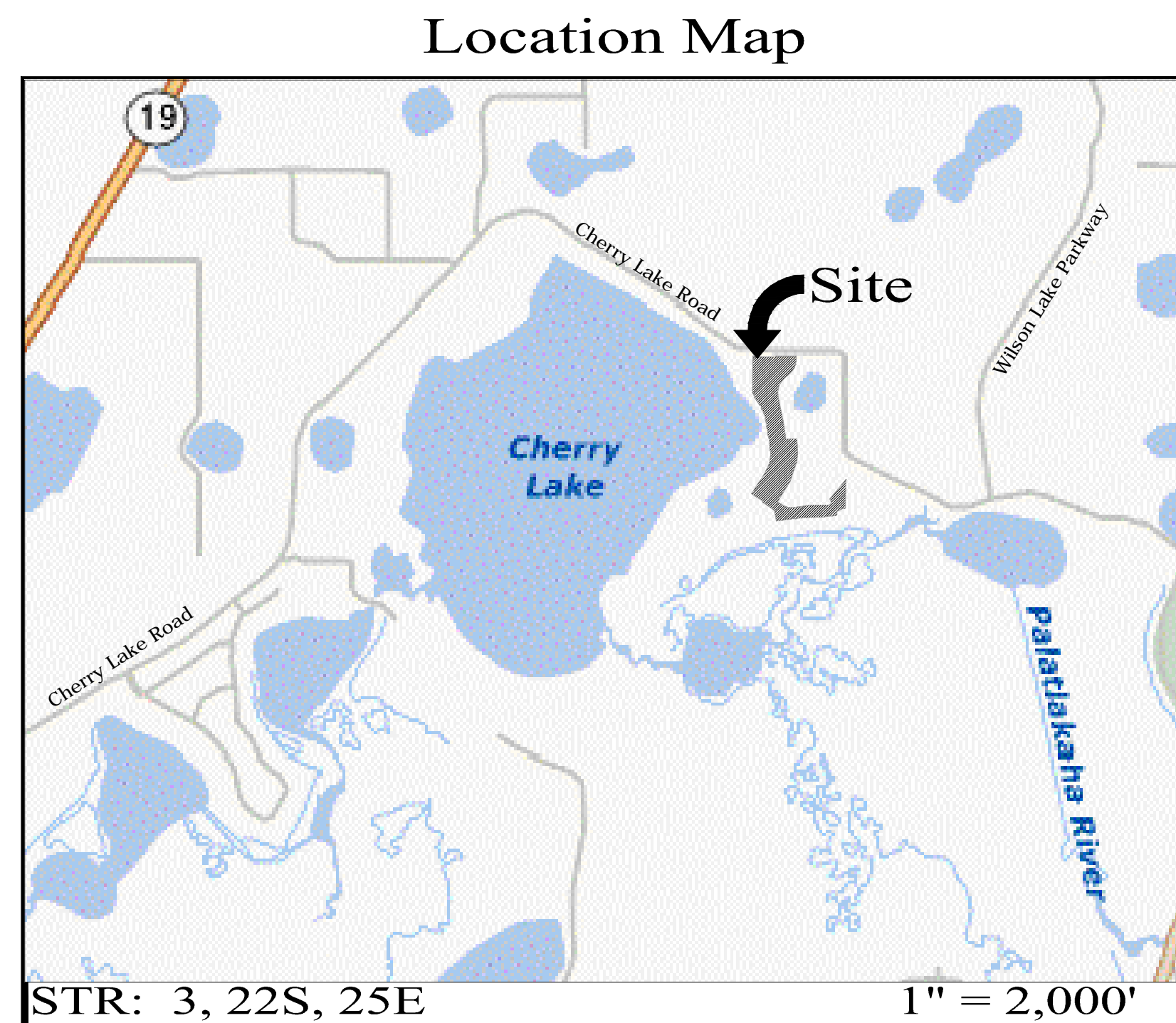
Project Team



G L SUMMITT
ENGINEERING INC

Owner Lawrence E. White As Trustee Under Agreement LEWTA2 625 Waltham Ave. Orlando, FL 32809 Ph: 407-855-1136 Contact: Lawrence E. White Wannee Land Company 625 Waltham Ave. Orlando, FL 32809 Ph: 407-855-1136 Contact: Lawrence E. White Castle Management Partners, LLP 625 Waltham Ave. Orlando, FL 32809 Ph: 407-855-1136 Contact: Lawrence E. White L&D, LLC 625 Waltham Ave. Orlando, FL 32809 Ph: 407-855-1136 Contact: Lawrence E. White Developer Red Jacket Development Group 625 Waltham Ave. Orlando, FL 32809 Ph: 407-855-1136 Fx: 407-851-2226 Contact: Clay Frankel	Surveyor SurvTech Solutions, Inc. 10220 U.S. Highway 92 East Tampa, FL 33610 Ph: (813) 621-4929 Fx: (813) 621-7194 Contact: David J. O'Brien Jr. Civil Engineer G L Summitt Engineering, Inc. 3667 Simonton Place Lake Mary, FL 32746 Ph: (407) 323-0705 Fx: (407) 992-8650 Geotechnical Engineer Andreyev Engineering, Inc. 1170 W. Minneola Ave. Clermont, FL 34711 Ph: (352) 241-0508 Fx: (352) 241-0977 Landscape Architect GAI Consultant Group, Inc. 618 E. South Street, Suite 700 Orlando, Florida 32801 Ph: (407) 423-8398 Fx: (321) 436-4796
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Utilities Drinking Water City of Groveland 156 S. Lake Avenue Groveland, FL 34736 Ph: (352) 429-0227 Garbage Disposal Veolia Environmental Services 109 Sampey Road Groveland, FL 34736 Ph: (352) 351-8886 WasteWater City of Groveland 156 S. Lake Ave. Groveland, FL 34736 Ph: (352) 429-0227	Electric Progress Energy 3250 Bonnet Creek Road Lake Buena Vista, FL 32830 Ph: (407) 827-1250 Phone Embarq 33 North Main St. Winter Garden, FL 34787 Ph: (407) 814-5351 Cable Brighthouse Networks 2251 Lucien Way Maitland, FL 32751 Ph: (407) 215-5205
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No.	Title	Revised
1	Coversheet	12-02-15
2	Symbols & Abbreviations	12-02-15
3	Boundary & Topographic Survey	12-02-15
4	Combined Site Plan	12-02-15
5	Detailed Site Plan	12-02-15
6	Detailed Utility Plan	12-02-15
7	Detailed Grading & Drainage Plan	12-02-15
8-9	General Details	12-02-15

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Coversheet

Plans not valid unless Stamped,
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GEOFFREY L. SUMMITT, P.E.
Date: December 2, 2015
FL Registration #88775
Certificate of Authorization #29665

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SHEET NUMBER
1 OF 9

ABBREVIATIONS

A	AREA ANCHOR BOLT ABANDON(ED) ACRES ACRE FOOT/FEET ASBESTOS CEMENT PIPE ADDITIONAL AVERAGE DAILY TRAFFIC ALUMINUM ALTERNATE BEFORE NOON AMPERES APPROX AIR RELEASE VALVE AIR RELEASE VALVE VALVE ASPHALT ASSEMBLY AVENUE AVERAGE AZIMUTH	F	FRAME AND COVER FLOOR DRAIN FOUNDATION FLORIDA DEPARTMENT OF TRANSPORTATION FINISHED FLOOR FINISHED GRADE FIRE HYDRANT FURNISH AND INSTALL FIGURE FINISHED FITTING FENCE LINE FLOOR FLEXIBLE FLANGE FORCE MAIN FOOTING FEET PER HOUR FEET PER MINUTE FEET PER SECOND FEET/FOOT FOOTING	P	POINT OF CURVATURE POINT OF COMPOUND CURVATURE POLYETHYLENE PIPE PROFILE GRADE POINT POINT OF INTERSECTION PROPERTY LINE POINT OF BEGINNING PUSH ON JOINT POWER POLE PHONE RISER PRESSURE PROJECT PROPOSED POINT OF REVERSE VERTICAL CURVE POUNDS PER SQUARE FOOT POUNDS PER SQUARE INCH POINT OF TANGENCY POLYVINYL CHLORIDE PAVEMENT POWER
B	BACKFLOW PREVENTER BASELINE BUILDING BOULEVARD BENCH MARK BOUNDARY BLOWOFF BACK OF CURB BOTTOM BEARING BOTTOM OF SLOPE BUTTERFLY VALVE	G	GAUGE GALLON GALVANIZED GAS MAIN GALLONS PER DAY GALLONS PER HOUR GALLONS PER MINUTE GALLONS PER SECOND GUARD RAIL GROUND GRADE GALVANIZED STEEL PIPE GATE VALVE GATE VALVE AND BOX GLY WIRE GROUND WATER TABLE	Q	FLOW RATE
C	CAPACITY CATCH BASIN CENTER TO CENTER CEMENT CUBIC FEET CURB FEET PER MINUTE CURB FEET PER SECOND CURB AND GUTTER CAST IRON CAST IRON PIPE CONSTRUCTION JOINT CENTER LINE CONCRETE LIGHT POLE CLEAR/CLEARANCE CLASS CM CORRUGATED METAL PIPE CORRUGATED METAL PIPE ARCH CONDUIT COUNTY INSIDE DIAMETER COLLUMN COMPLETE CONCRETE CONNECTION CONSTRUCTION CONTINUOUS COORDINATE(S) CORNER COUPLING CONCRETE POWER POLE CONTROL STRUCTURE COATING CENTER CABLE TELEVISION CULVERT CURB YARD CYLINDER	H	HOSE BIBB HIGH DENSITY POLYETHYLENE HORIZONTAL HORSEPOWER HOUR HEIGHT HEADWALL HIGH WATER LEVEL HIGHWAY HYDRAULIC	R	RADIUS REINFORCED CONCRETE PIPE REINFORCED CONCRETE PIPE ARCH ROAD ROADWAY REDUCER REFERENCE REINFORCE(ED) REQUIRED REVISE/REVISION REVOLUTIONS PER MINUTE RAILROAD RIGHT RELIEF VALVE RIGHT-OF-WAY REUSE WATER MAIN
D	DOUBLE DEGREE DEFLECTION DEPARTMENT DETAIL DESIGN HIGH WATER LEVEL DUCTILE IRON DIAMETER DIAGONAL DIMENSION DUCTILE IRON PIPE DISCHARGE DISTANCE DROP MANHOLE DOWN DRAIN DRAWING DRIVEWAY	I	INTERSTATE HIGHWAY INTERSECTION ANGLE INSIDE DIAMETER INSIDE FACE INCHES INLET INSERT INSTALL IRON PIPE IRON ROD INTERSECT/INTERSECTION INVERT	S	SOUTH SANITARY SEWER SPASH BLOCK SCHEDULE SIDE DRAIN SHELF DRAIN SOUTHWEST SECONDS SECTION SHEET SEASONAL HIGH GROUND WATER TABLE SIMILAR SETBACK LINE SLOPE SHEET METAL SPECIFICATION(S) SQ IN SQ FT SQ YD STATE ROAD STAINLESS STEEL STREET STATION STANDARD STEEL STRUCTURE STORM SEWER SUPPORT SUSPENDING/SUSPENSION SERVICE SOUTHWEST SIDEWALK SYMBOL(S) SYMMETRICAL SYSTEM
E	EAST EACH EDGE OF CONCRETE ENERGY DISSIPATOR EACH FACE EFFLUENT EXISTING GRADE EASEMENT LINE ELBOW ELECTRIC ELEVATION ELLIPSE/ELLIPTICAL ENCASUREMENT ENGINEERING EDGE OF PAVEMENT EQUAL/EQUATION EQUIPMENT EQUIVALENT EASEMENT ESTIMATE EACH WAY ENDWALL EXCAVATE/EXCAVATION EXISTING EXPAND/EXPANSION EXTEND/EXTENSION	J	JUNCTION BOX FUNCTION JOIST JOINT	T	TANGENT TURBIDITY TOP AND BOTTOM TEMPORARY BENCH MARK TIME OF CONCENTRATION TRENCH DRAIN TOTAL DYNAMIC HEAD TECHNICIAN/TECHNICAL TEMPORARY TERMINAL LAMP/POLE TOP OF BANK TOP OF CURB TOE OF SLOPE TOTAL TOP OF SLOPE TOWNSHIP TYPICAL
F	F	M	MAINTENANCE MATERIAL MAXIMUM MECHANICAL MITERED END MANUFACTURER MILLION GALLONS PER DAY MANHOLE MANHOLE COVER MEAN HIGH WATER LEVEL MINIMUM MISCELLANEOUS MECHANICAL JOINT METAL LIGHT POLE MEAN LOW WATER LEVEL MONUMENT MILES PER HOUR MEAN SEA LEVEL MOUNTING	U	UNDERDRAIN UNDERGROUND UNLESS OTHERWISE NOTED UNDERGROUND TELEPHONE CABLE
N	NORTH NOT APPLICABLE NAIL AND CAP NORTHWEST NATURAL GROUND NOT IN CONTRACT NUMBER NOMINAL NOT TO SCALE NORTHWEST NORMAL WATER LEVEL	O	ON CENTER OUTSIDE DIAMETER OR EQUAL OPENING OPPOSITE OVAL REINFORCED CONCRETE PIPE OUTFALL STRUCTURE OVERFLOW OVERHEAD	V	VALVE BOX VERTICAL CURVE VITRIFIED CLAY PIPE VERTICAL VERTICAL POINT OF CURVE VERTICAL POINT OF INTERSECTION VERTICAL POINT OF TANGENCY
W	WEST WITH WATER MAIN WITHOUT WATER WEATHER PROOF WOOD POWER POLE WATER SURFACE WET SEASON WATER TABLE WEIGHT WATER VALVE WEALED WIRE FABRIC WEALED WIRE MESH	Y	YARD YEAR	MISC	AND AT DELTA

EXISTING SYMBOLS

	CENTER LINE		BUILDING LINE
	WIRE FENCE		CONTOURS
	CHAIN LINK FENCE		RAILROAD TRACKS
	WOOD FENCE		GAS MAIN
	GUARDRAIL		UNDERGROUND ELECTRIC
	EXISTING PLATS		UNDERGROUND TELEPHONE
	RETAINING WALL		OVERHEAD ELECTRIC
	RIGHT-OF-WAY LINE		OVERHEAD TELEPHONE
	SHORELINE		UNDERGROUND CABLE TELEVISION
	SWALE		EASEMENT

SANITARY

	SANITARY SEWER LINE		FORCE MAIN
	CLEANOUT		MANHOLE

WATER & REUSE WATER

	WATER MAIN 6" PVC PIPE		WATER VALVE
	REUSE WATER MAIN		FIRE HYDRANT
	BACKFLOW PREVENTOR		WATER METER

STORM DRAIN

	STORM SEWER		FDOT TYPE 1 INLET
	MANHOLE		FDOT TYPE 2 INLET
	MITERED END		FDOT TYPE 3 INLET
	STORM INLET		FDOT TYPE 4 INLET
	FDOT TYPE 6 INLET		FDOT TYPE 5 INLET

HIGHWAY & UTILITIES

	BENCHMARK		GUY POLE		BRICK PAVERS
	RECOVERED 4x4 CM		WOOD UTILITY POLE		DIRT ROAD
	SET 4x4 CM		CONCRETE UTILITY POLE		8" MAPLE TREE
	SET IRON ROD		ELECTRIC MANHOLE		8" OAK TREE
	RECOVERED IRON ROD		TELEPHONE MANHOLE		8" PINE TREE
	CONCRETE		TELEPHONE RISER		8" PALM TREE
	COUNTY ROADS		ELECTRIC BOX / TRANSFORMER		8" MISC. TREE
	INTERSTATE ROADS		WELL		
	STATE ROADS		MONITORING WELL		
	WOOD AND/OR METAL LIGHT POLE		DUMPSTER		
	CONCRETE LIGHT POLE		RR CROSSING SIGN		
	YARD LIGHT		RR CROSSING GATE		
	MISCELLANEOUS SIGN		TRAFFIC SIGNAL POLE		
	SECTION CORNER		SATellite DISH		
	EDGE OF PAVEMENT W/O CURB		GUY WIRE		
	EDGE OF PAVEMENT W/CURB		HANDICAP PARKING		
			SPOT ELEVATION		

PROPOSED SYMBOLS

	BOUNDARY		CONSERVATION SETBACK
	CENTER LINE		CHAIN LINK FENCE
	CONTOUR		EASEMENT
	FENCE		GUARDRAIL
	LOT LINE		PROPERTY LINE
	RETAINING WALL		RIGHT-OF-WAY LINE
	SETBACK LINE		SHORELINE
	SWALE		TREE LINE

SANITARY

	100 LINEAR FEET SANITARY 8" PVC PIPE @ 0.40% SLOPE		CLEANOUT
	DOUBLE SANITARY SERVICE		FORCE MAIN
	MANHOLE		

WATER & REUSE WATER

	WATER MAIN		1 1/2" BEND
	11 1/2" BEND		22 1/2" BEND
	45° BEND		90° BEND
	TEE		CROSS
	CHECK VALVE		DOUBLE DETECTOR CHECK VALVE
	DOUBLE WATER SERVICE		GATE VALVE
	FIRE HYDRANT		METER
	REDUCER		BLOWOFF
	BACKFLOW PREVENTER		SAMPLE POINT
	UNDERDRAIN CLEANOUT		RECLAIMED WATER MAIN
	REUSE WATER SYSTEM CONNECTION		DOUBLE REUSE WATER SERVICE

	100 LINEAR FEET STORM PIPE 24" REINFORCED CONCRETE PIPE @ 0.20%		UNDERDRAIN 6" PVC PIPE
	DRAINAGE FLOW DIRECTION		FDOT INLET TYPE 1
	FDOT INLET TYPE 2		FDOT INLET TYPE 3
	FDOT INLET TYPE 4		FDOT INLET TYPE 5
	FDOT INLET TYPE 6		MANHOLE
	MITERED END SECTION		SLOPE DIRECTION ARROW FOR POND SIDE SLOPE
	SPOT ELEVATION		STORM INLET

	BOUND CORNER		CONCRETE
	COUNTY ROADS		DETAIL REFERENCE
	DUMPSTER PAD		FINISHED FLOOR ELEVATION W/ FHA LOT TYPE
	GUY POLE		HANDICAP PARKING
	INTERSTATE ROADS		LIGHT POLE
	SIGNS		SECTION CORNER
	STATE ROADS		SILT FENCE
	TRAFFIC FLOW PAVEMENT MARKING		UTILITY POLE
	BLDG OR STRUCTURE		TYPE F CURB & GUTTER
	MIAMI CURB		CROSS SECTION DETAIL



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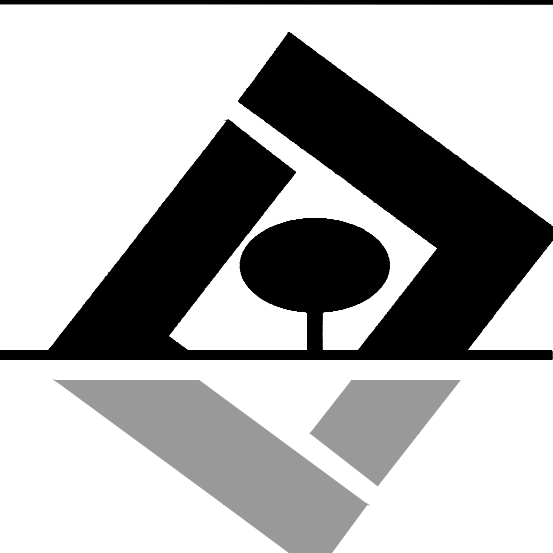
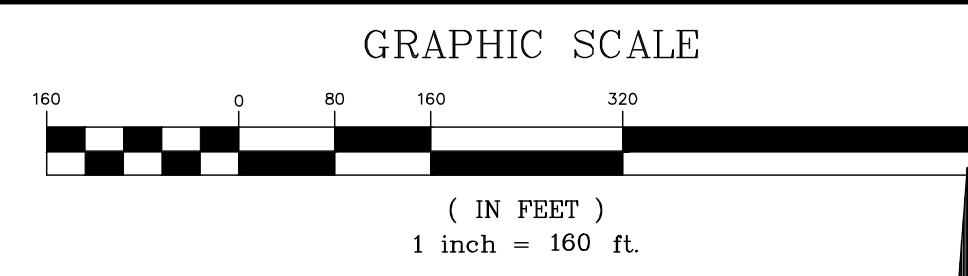
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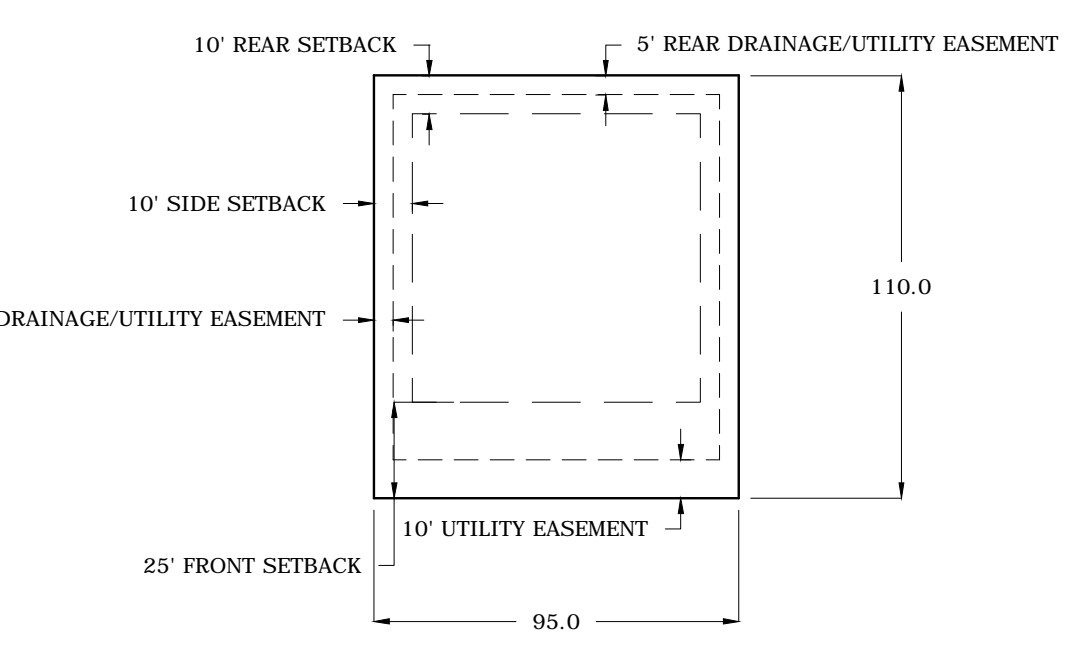
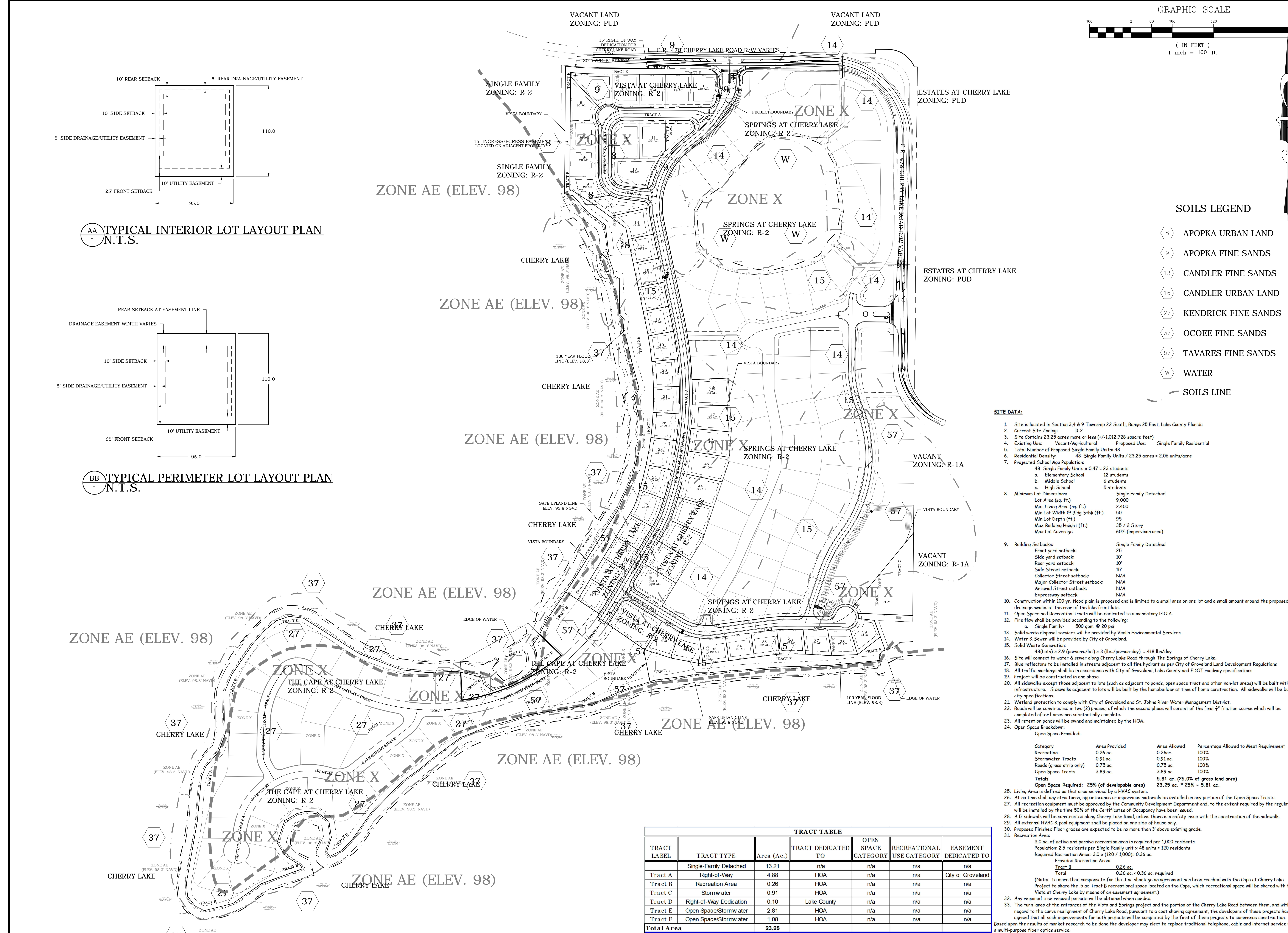
Combined
Site Plan

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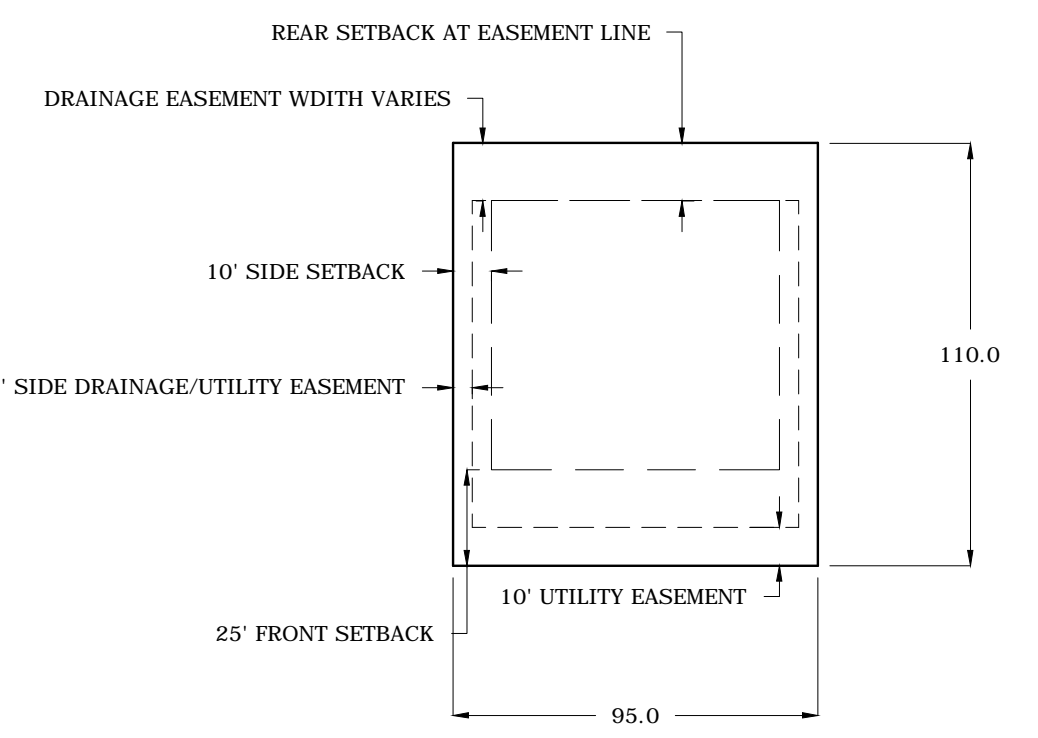
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SHEET NUMBER
4 OF 9



AA TYPICAL INTERIOR LOT LAYOUT PLAN
N.T.S.



BB TYPICAL PERIMETER LOT LAYOUT PLAN
N.T.S.

SOILS LEGEND

- 8 APOPKA URBAN LAND
- 9 APOPKA FINE SANDS
- 13 CANDLER FINE SANDS
- 16 CANDLER URBAN LAND
- 27 KENDRICK FINE SANDS
- 37 OCOEE FINE SANDS
- 57 TAVARES FINE SANDS
- W WATER
- SOILS LINE

SITE DATA:

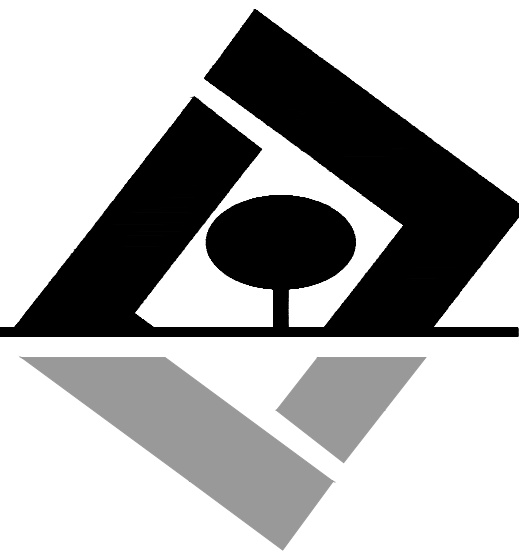
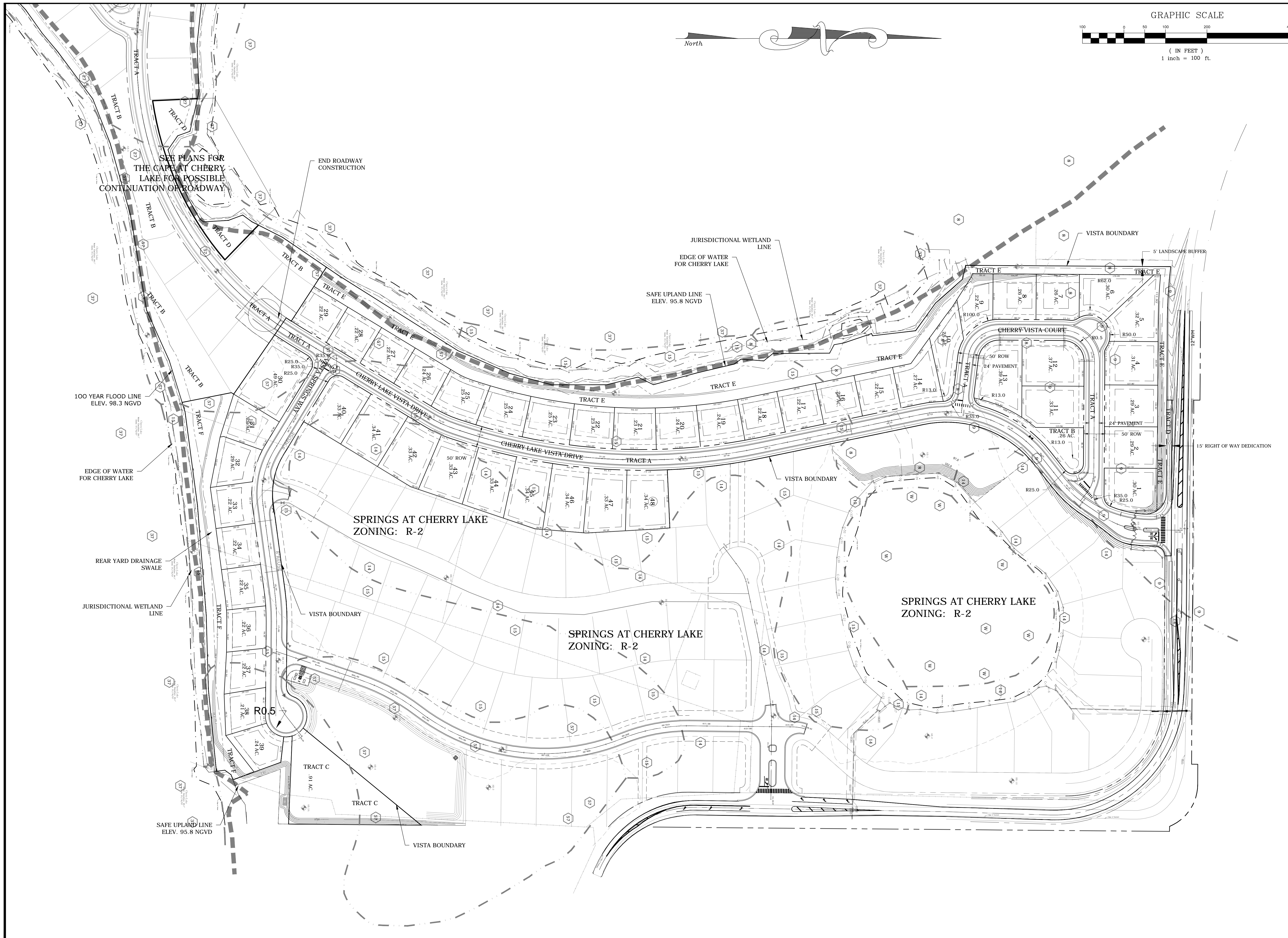
- Site is located in Section 3, 4 & 9 Township 22 South, Range 25 East, Lake County Florida
- Current Site Zoning: R-2
- Site Contains 23.25 acres more or less (±1,012,728 square feet)
- Existing Use: Vacant/Agricultural Proposed Use: Single Family Residential
- Total Number of Proposed Single Family Units: 48
- Residential Density: 48 Single Family Units / 23.25 acres = 2.06 units/acre
- Projected School Age Population:
 - 48 Single Family Units x 0.47 = 23 students
 - a. Elementary School 12 students
 - b. Middle School 6 students
 - c. High School 5 students
- Minimum Lot Dimensions: Single Family Detached
 - Lot Area (sq. ft.) 9,000
 - Min. Living Area (sq. ft.) 2,400
 - Min Lot Width @ Bldg Stbk (ft.) 50
 - Min Lot Depth (ft.) 95
 - Max Building Height (ft.) 35 / 2 Story
 - Max Lot Coverage 60% (impervious areas)
- Building Setbacks: Single Family Detached
 - Front yard setback: 25'
 - Side yard setback: 10'
 - Rear yard setback: 10'
 - Side Street setback: 15'
 - Collector Street setback: N/A
 - Major Collector Street setback: N/A
 - Arterial Street setback: N/A
 - Expressway setback: N/A
- Construction within 100 yr. Flood plain is proposed and is limited to a small area on one lot and a small amount around the proposed drainage swales at the rear of the lake front lots.
- Open Space and Recreation Tracts will be dedicated to a mandatory H.O.A.
- Fire flow shall be provided according to the following:
 - a. Single Family- 500 gpm @ 20 psi
- Solid waste disposal services will be provided by Veolia Environmental Services.
- Water & Sewer will be provided by City of Groveland.
- Solid Waste Generation: 48(Lots) x 2.9 (persons/lot) x 3 (lbs/person-day) = 418 lbs/day
- Site will connect to water & sewer along Cherry Lake Road through The Springs of Cherry Lake.
- Blue reflectors to be installed in streets adjacent to all fire hydrant as per City of Groveland Land Development Regulations
- All traffic markings shall be in accordance with City of Groveland, Lake County and FDOT roadway specifications
- Project will be constructed in one phase.
- All sidewalks except those adjacent to lots (such as adjacent to ponds, open space tract and other non-lot areas) will be built with the infrastructure. Sidewalks adjacent to lots will be built by the homebuilder at time of home construction. All sidewalks will be built to city specifications.
- Wetland protection to comply with City of Groveland and St. Johns River Water Management District.
- Roads will be constructed in two (2) phases; of which the second phase will consist of the final 1/2" friction course which will be completed after homes are substantially complete.
- All retention ponds will be owned and maintained by the HOA.
- Open Space Breakdown:

Category	Area Provided	Area Allowed	Percentage Allowed to Meet Requirement
Recreation	0.26 ac.	0.26ac.	100%
Stormwater Tracts	0.91 ac.	0.91 ac.	100%
Roads (grass strip only)	0.75 ac.	0.75 ac.	100%
Open Space Tracts	3.89 ac.	3.89 ac.	100%
Totals	5.81 ac. (25.0% of gross land area)	23.25 ac. * 25% = 5.81 ac.	

TRACT TABLE						
TRACT LABEL	TRACT TYPE	Area (Ac.)	TRACT DEDICATED TO	OPEN SPACE CATEGORY	RECREATIONAL USE CATEGORY	EASEMENT DEDICATED TO
	Single-Family Detached	13.21	n/a	n/a	n/a	n/a
Tract A	Right-of-Way	4.88	HOA	n/a	n/a	City of Groveland
Tract B	Recreation Area	0.26	HOA	n/a	n/a	n/a
Tract C	Stormwater	0.91	HOA	n/a	n/a	n/a
Tract D	Right-of-Way Dedication	0.10	Lake County	n/a	n/a	n/a
Tract E	Open Space/Stormwater	2.81	HOA	n/a	n/a	n/a
Tract F	Open Space/Stormwater	1.08	HOA	n/a	n/a	n/a
Total Area		23.25				

- Open Space Provided:
- Living Area is defined as that area serviced by a HVAC system.
- At no time shall any structures, appurtenance or impervious materials be installed on any portion of the Open Space Tracts.
- All recreation equipment must be approved by the Community Development Department and, to the extent required by the regulations, will be installed by the time 50% of the Certificates of Occupancy have been issued.
- A 5' sidewalk will be constructed along Cherry Lake Road, unless there is a safety issue with the construction of the sidewalk.
- All external HVAC & pool equipment shall be placed on one side of house only.
- Proposed Finished Floor grades are expected to be no more than 3" above existing grade.
- Recreation Area:
 - 3.0 ac. of active and passive recreation area is required per 1,000 residents
 - Population 23 residents per Single Family unit x 48 units = 120 residents
 - Required Recreation Area: 3.0 x (120 / 1,000) = 0.36 ac.
 - Provided Recreation Area:

Tract	Area
Tract B	0.26 ac.
Total	0.26 ac. + 0.36 ac. required
- Note: To more than compensate for the 1 ac shortage an agreement has been reached with the Cape at Cherry Lake Project to share the 5 ac Tract B recreational space located on the Cape, which recreational space will be shared with the Vista at Cherry Lake by means of an easement agreement.
- Any required tree removal permits will be obtained when needed.
- The turn lanes at the entrances of the Vista and Springs project and the portion of the Cherry Lake Road between them, and with regard to the curve realignment of Cherry Lake Road, pursuant to a cost sharing agreement, the developers of these projects have agreed that all such improvements for both projects will be completed by the first of these projects to commence construction. Based upon the results of market research to be done the developer may elect to replace traditional telephone, cable and internet service with a multi-purpose fiber optics service.



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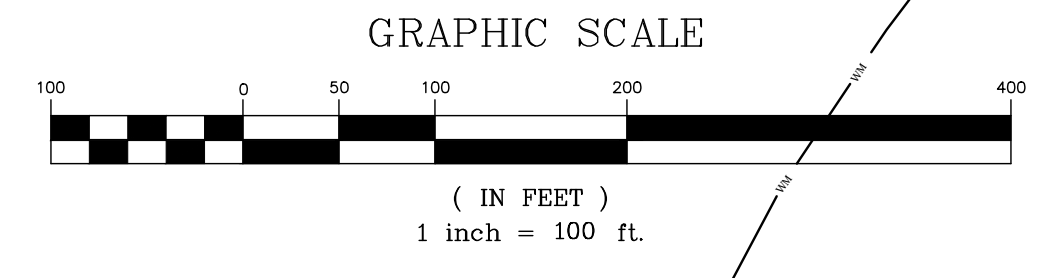
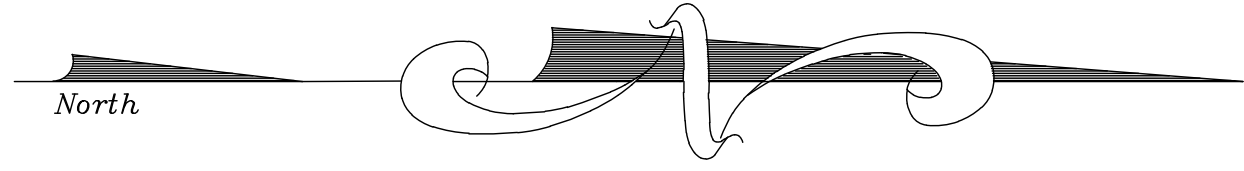
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**Detailed Site
 Plan**

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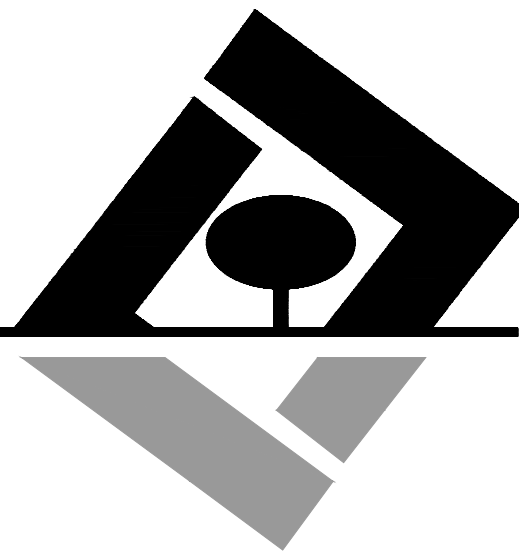
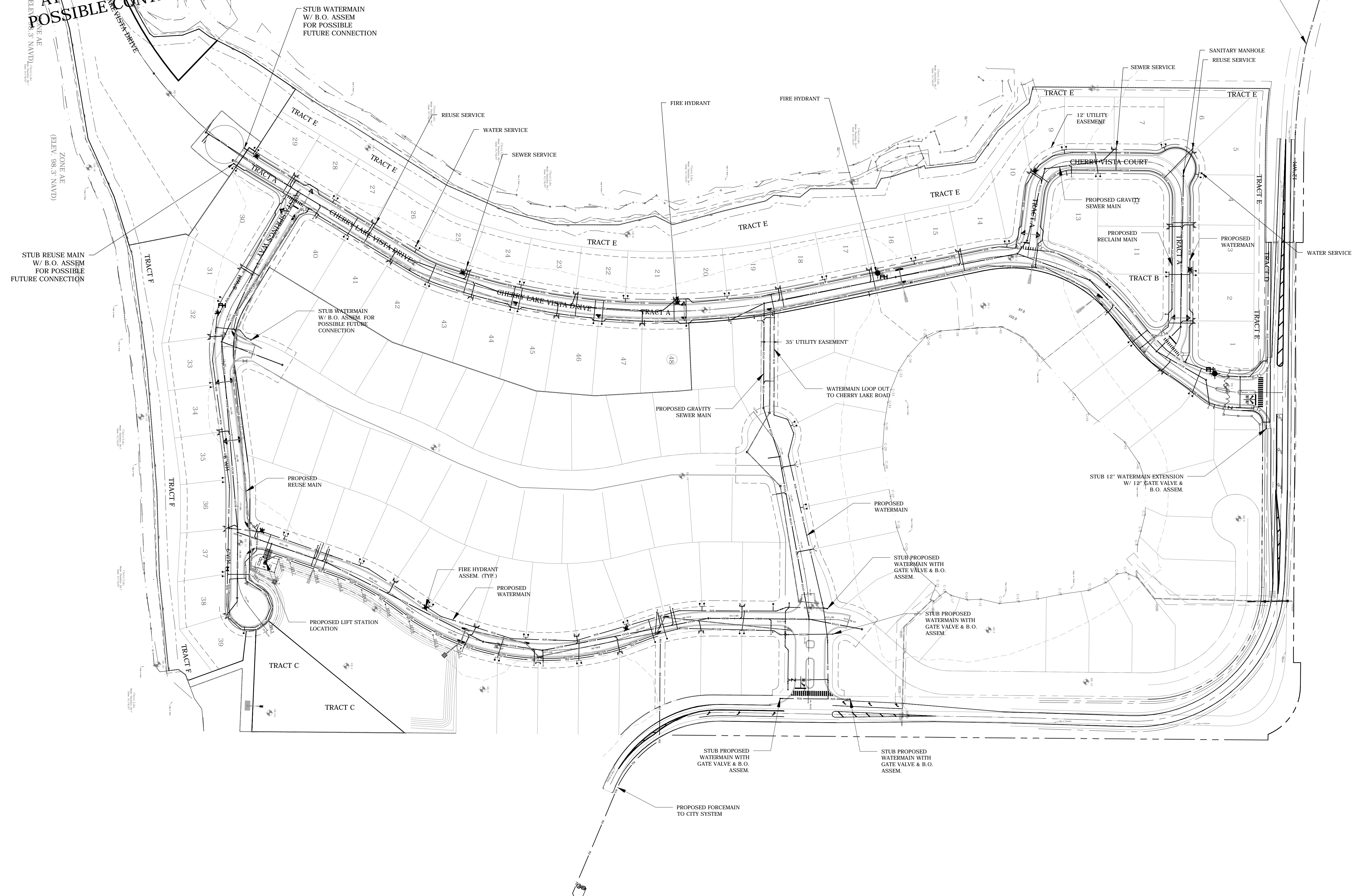
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SHEET NUMBER
5 OF 9



This Note will be added to the General Notes section of the Final Construction Plans: All perpetual utility easements to the City and all perpetual ingress and egress easements to the City, The Springs, and The Cape will be granted, established, and reflected on the Final Plat with full effectiveness upon its public recordation.

SEE PLANS FOR THE CAPE AT CHERRY LAKE FOR POSSIBLE CONTINUATION



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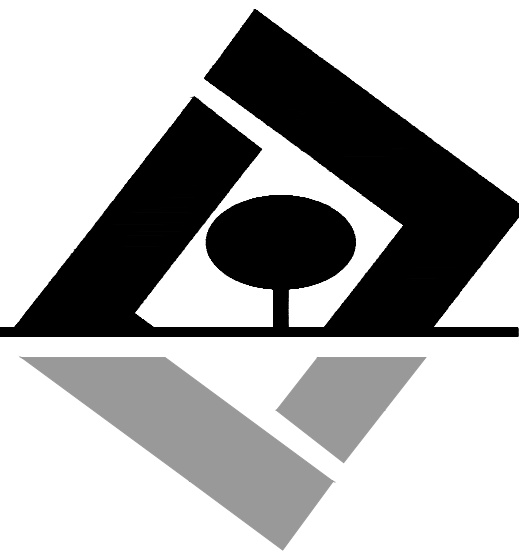
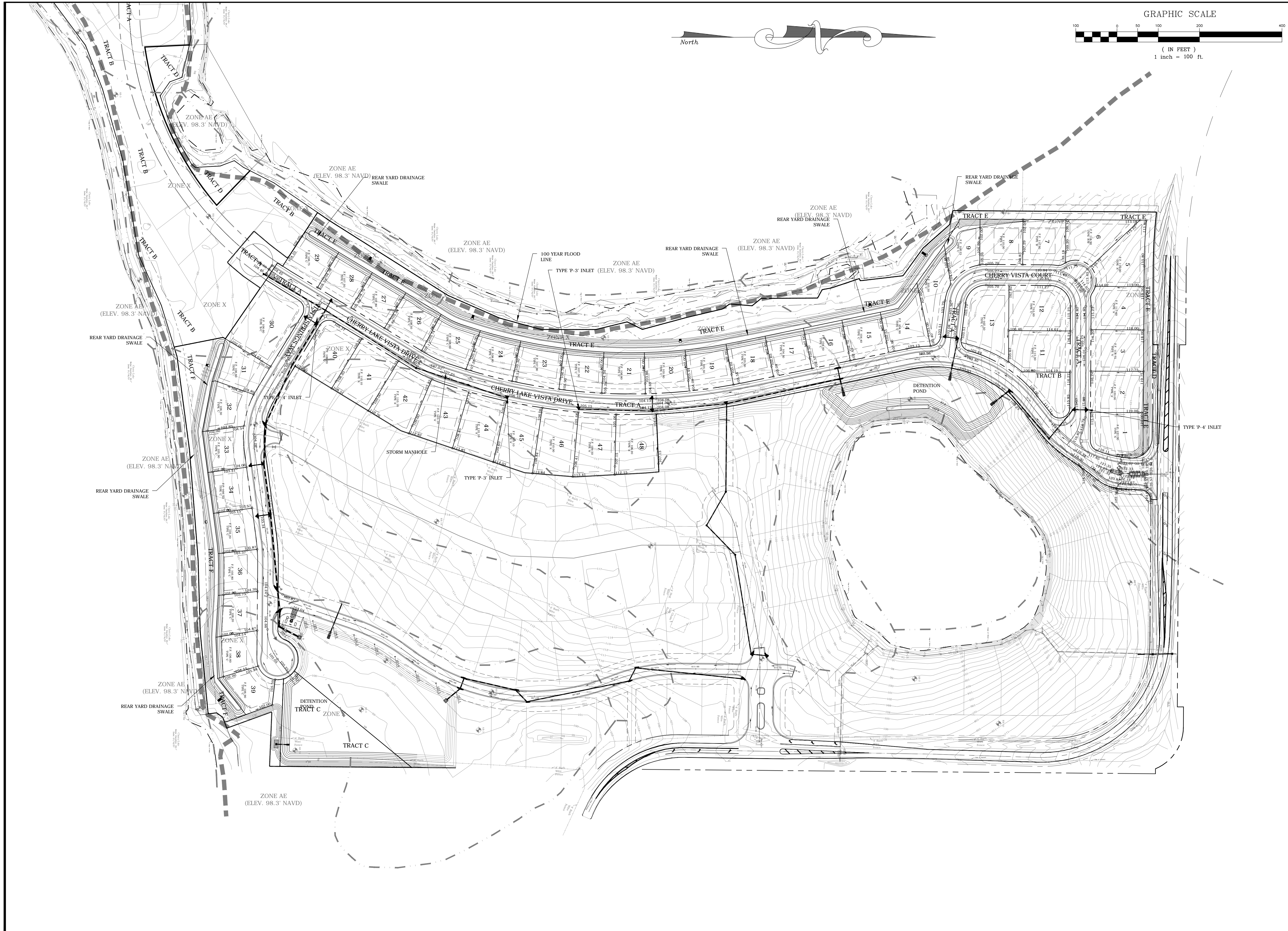
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SHEET NUMBER
6 OF 9



G L SUMMITT
ENGINEERING INC
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Red Jacket Development Group
625 Waltham Ave.
Orlando, FL 32809
(407) 855-1136

The Vista at
Cherry Lake
Groveland, Florida
Preliminary Plat

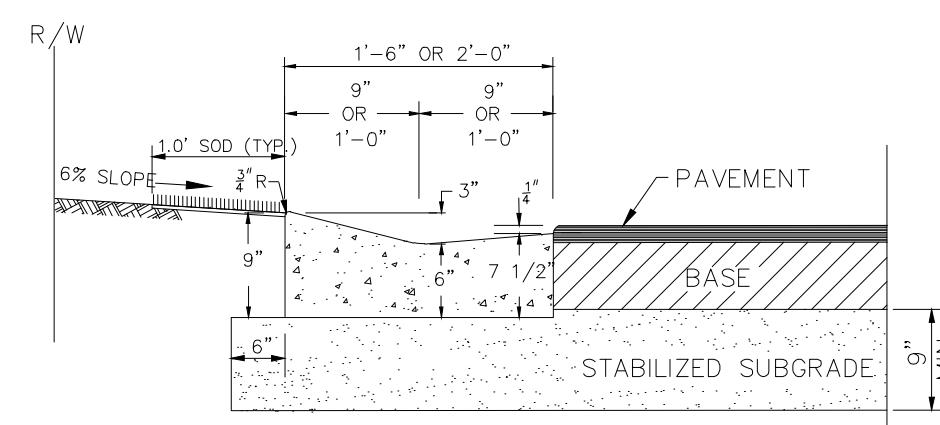
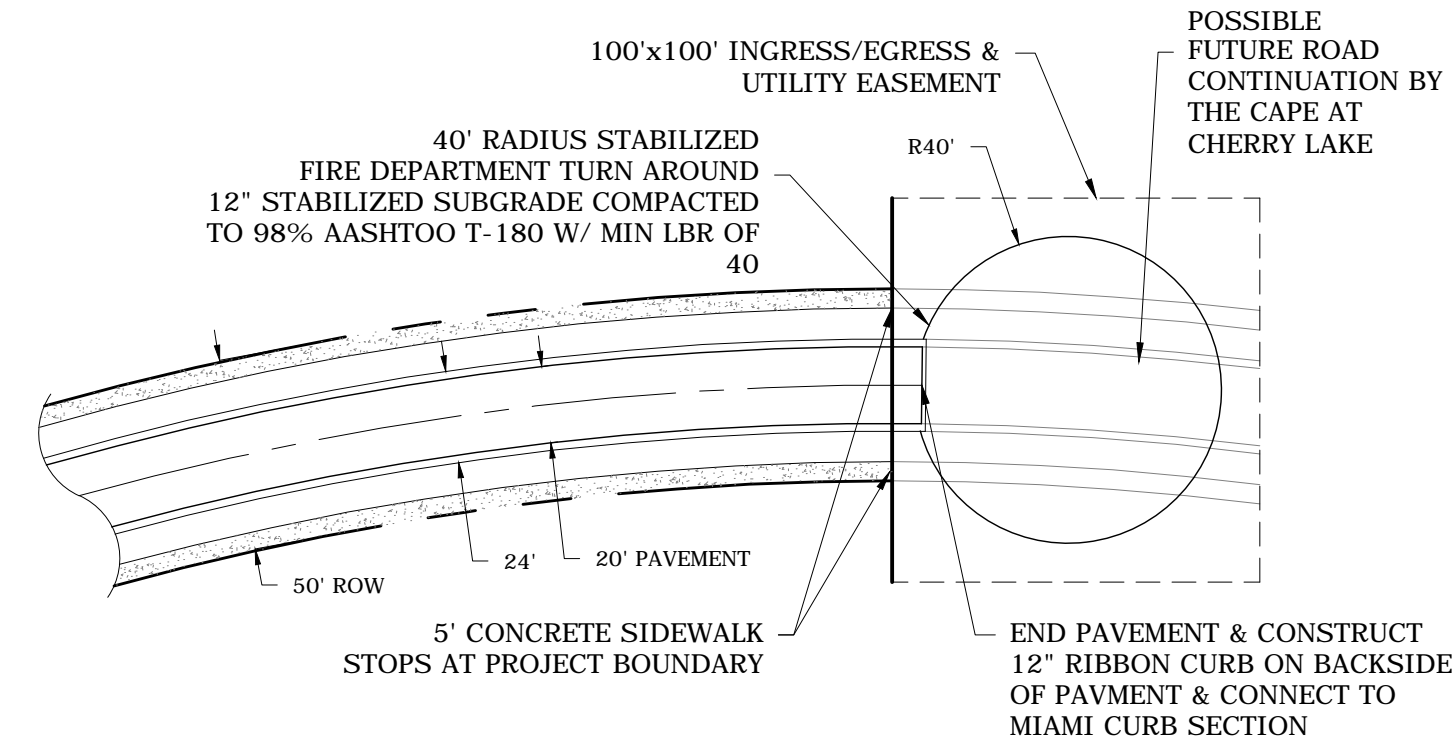
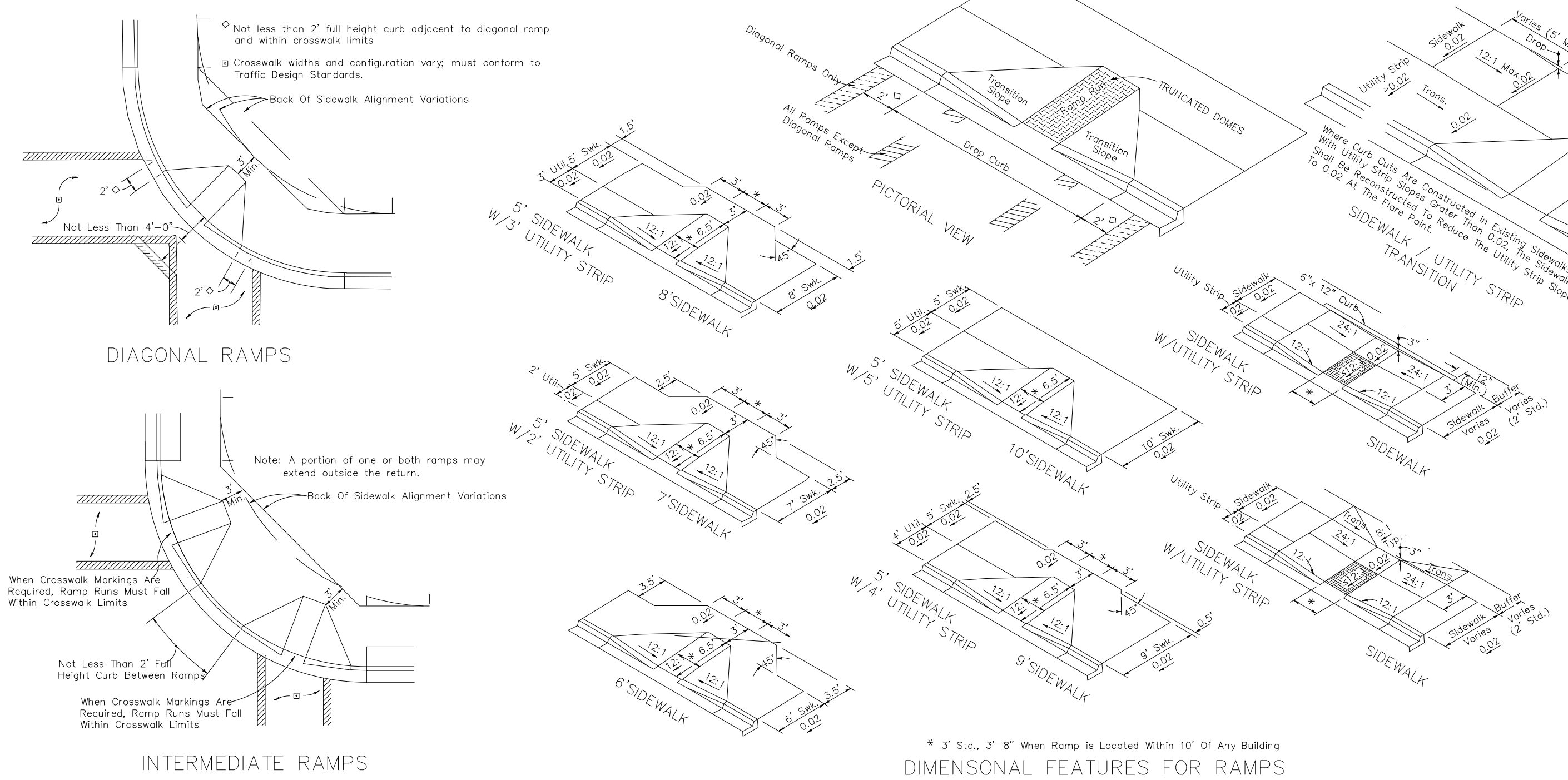
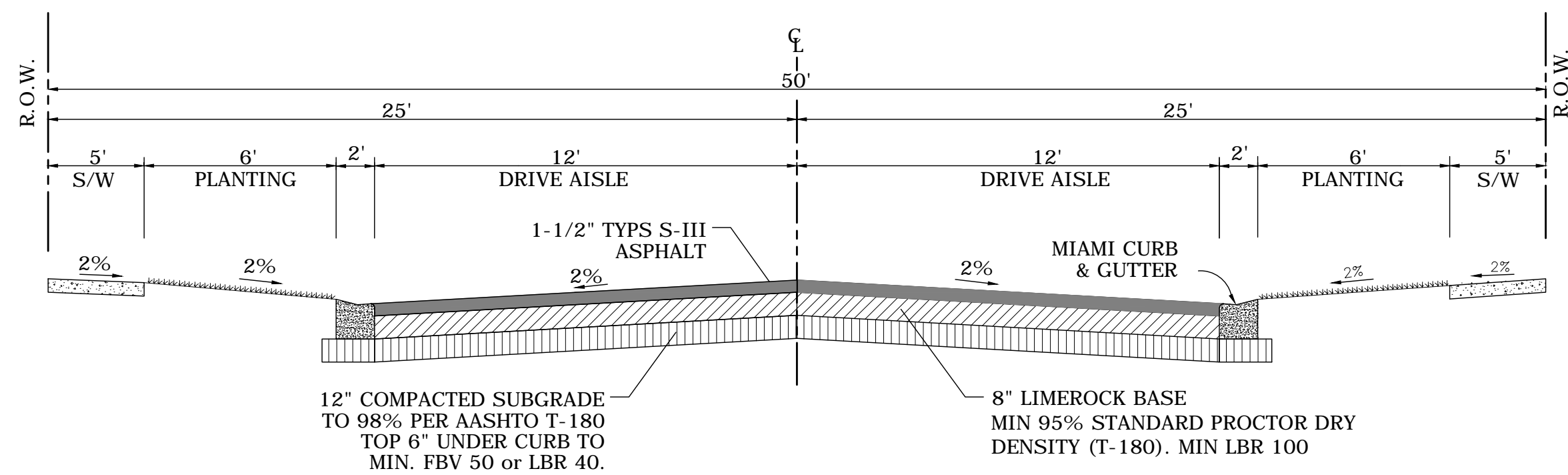
**Detailed
Grading &
Drainage Plan**

Plans not valid unless Signed,
Dated and Sealed below.

GEOFFREY L. SUMMITT, P.E.
Date: December 2, 2015
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Certificate of Authorization #296665

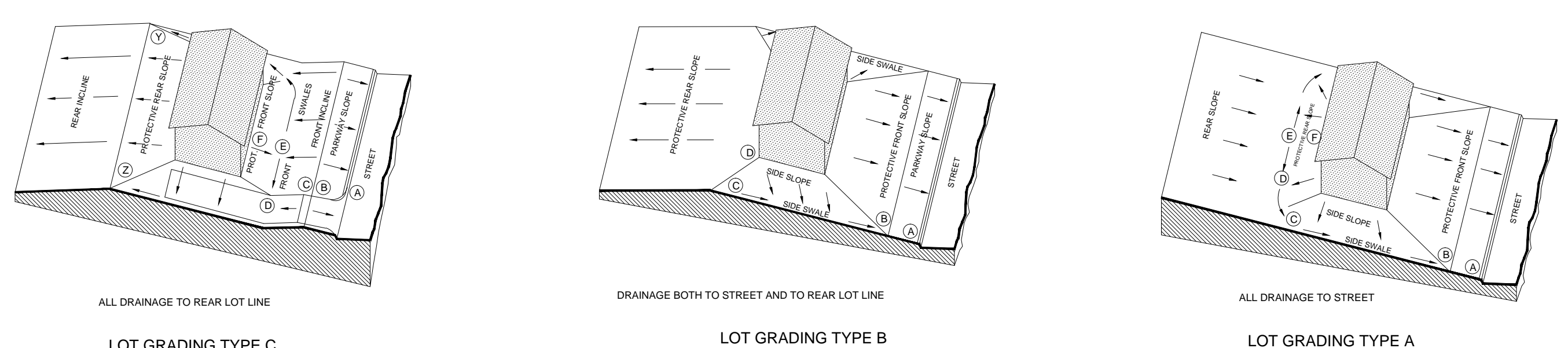
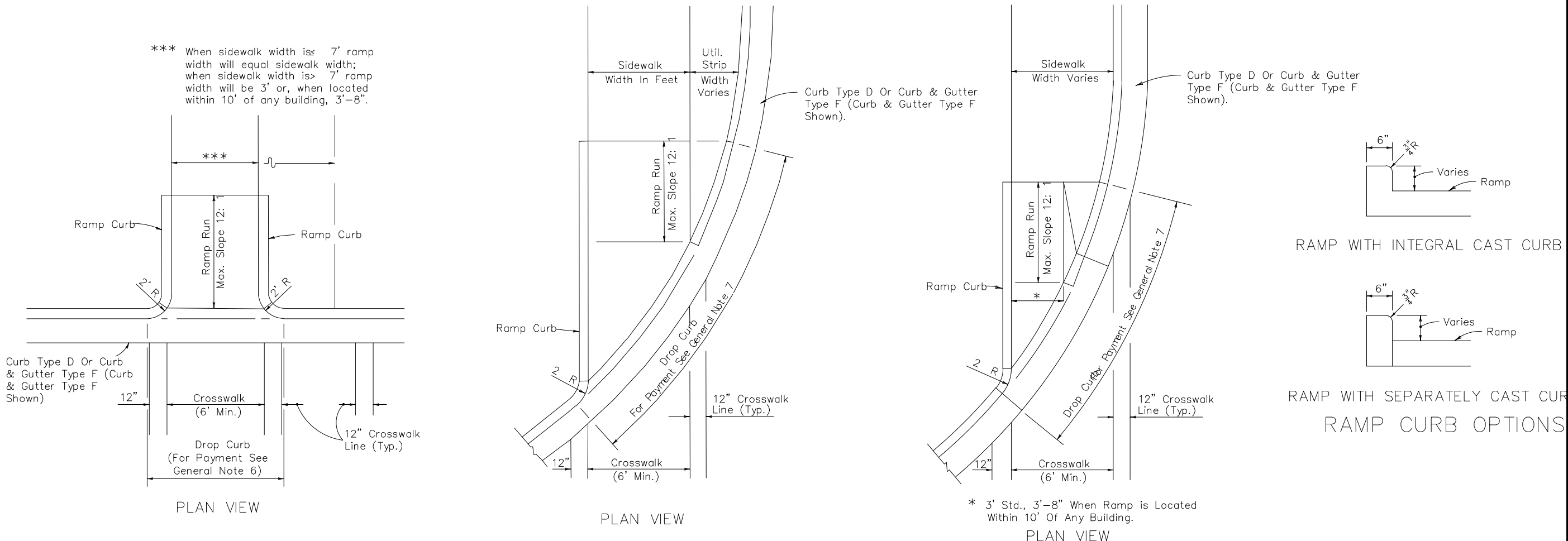
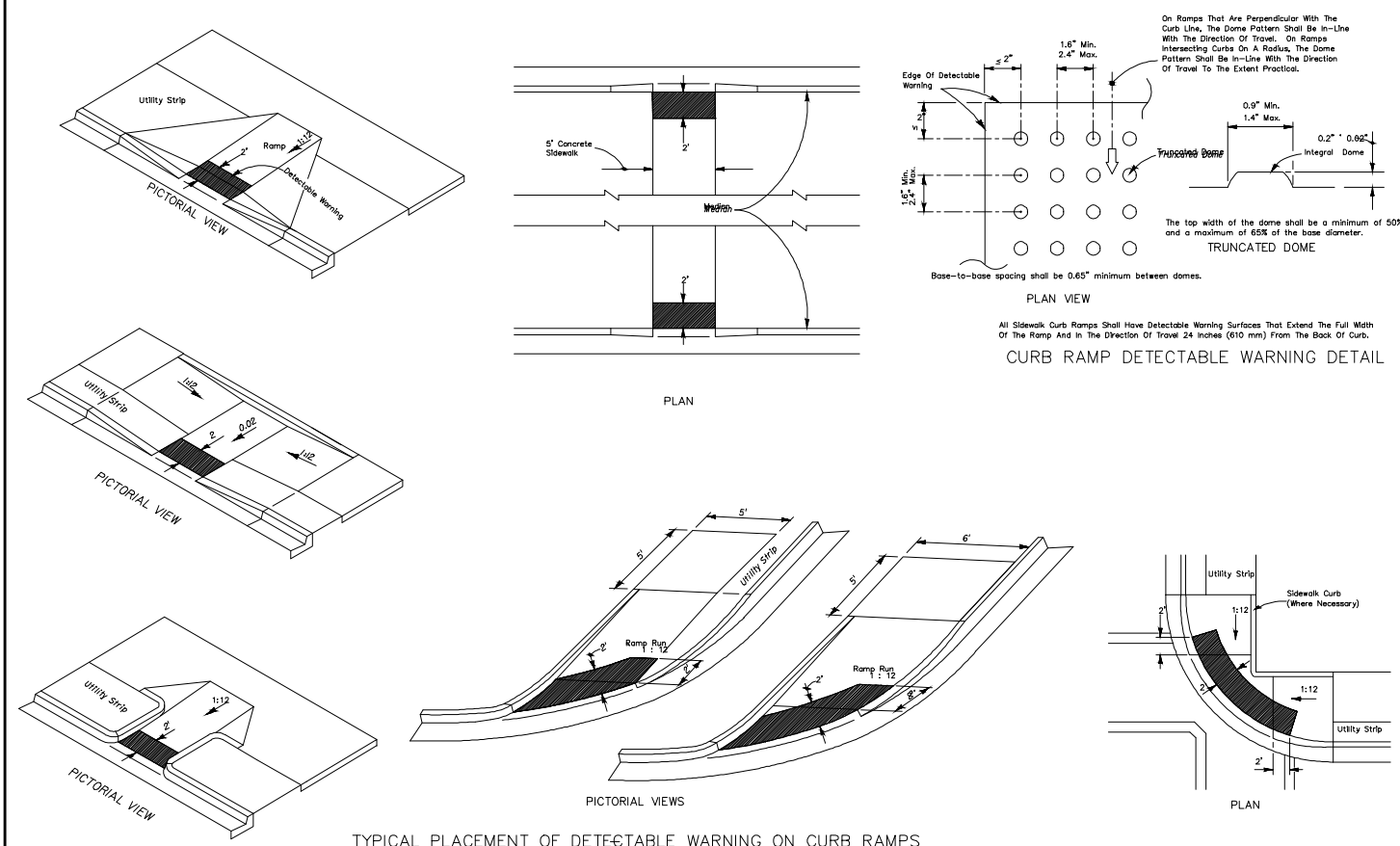
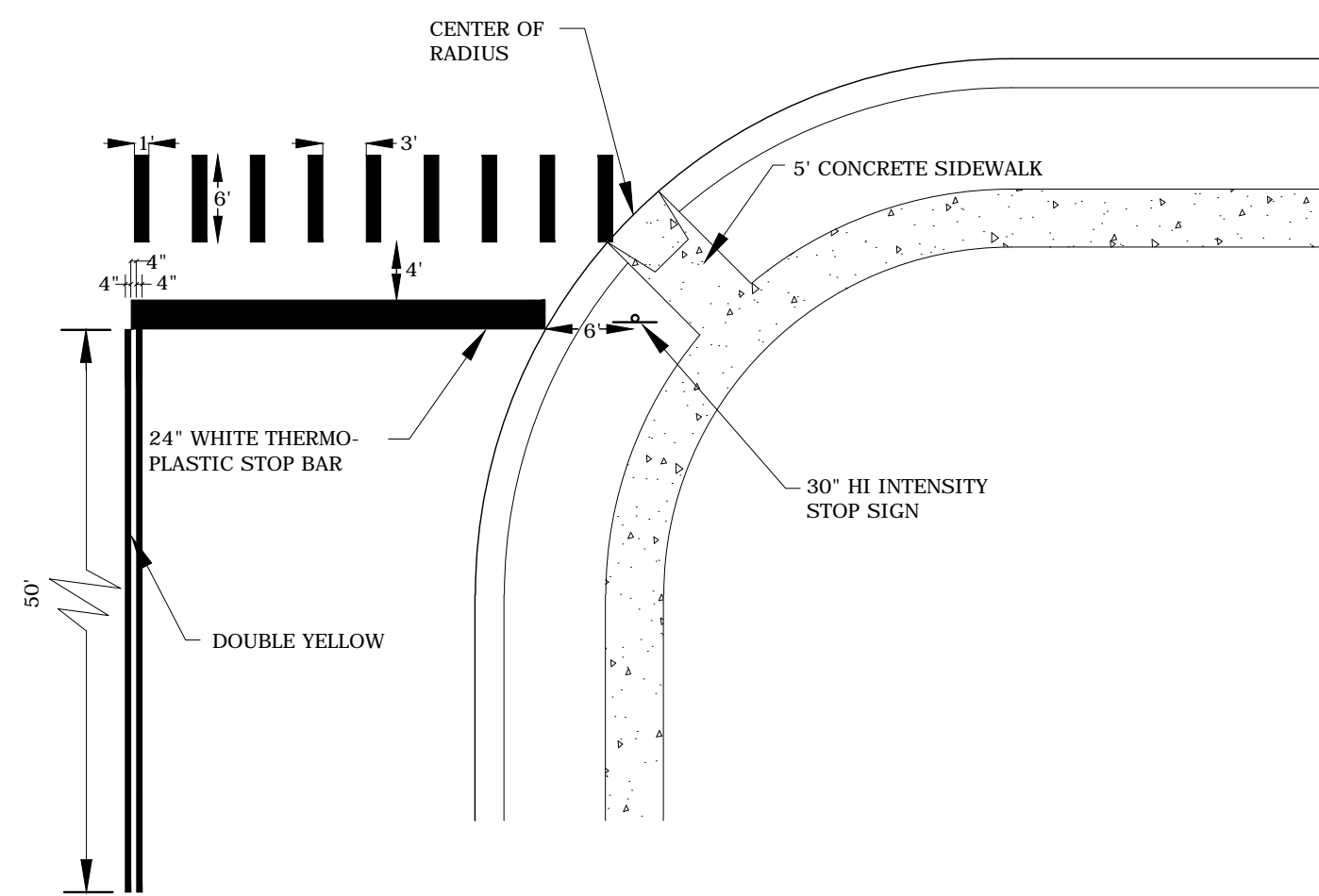
Revisions		
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SHEET NUMBER
7 OF 9



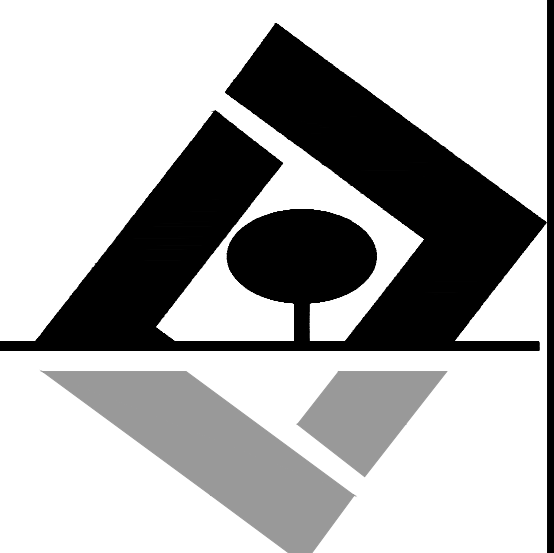
802 CURB CUT RAMPS FOR LINEAR PEDESTRIAN TRAFFIC
N.T.S.

CURB CUT RAMPS
1 of 3 304



805 CURB CUT RAMPS FOR LINEAR PEDESTRIAN TRAFFIC
N.T.S.

CURB CUT RAMPS
2 of 3 304



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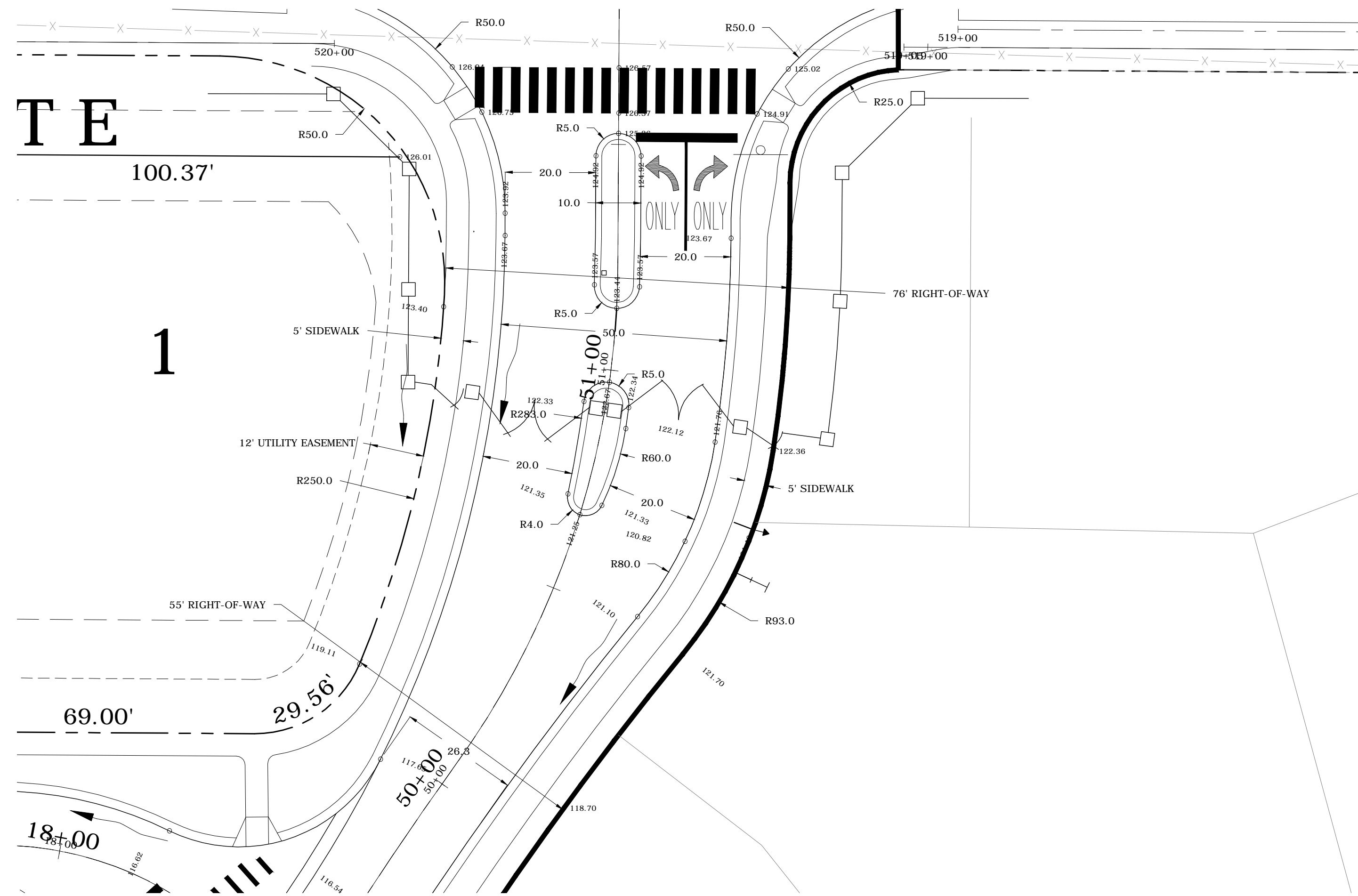
General
Details

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Dated and Sealed below.

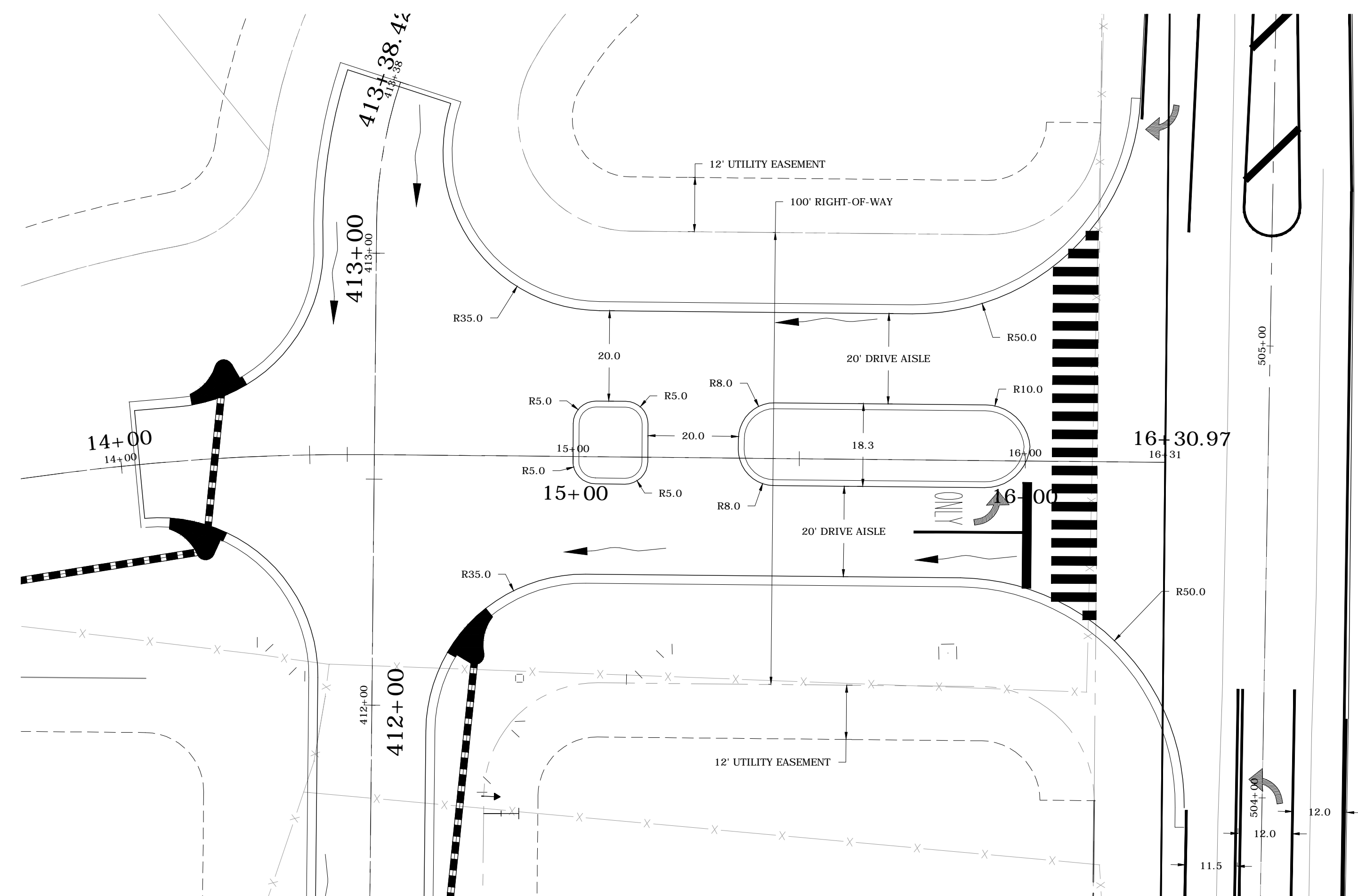
GEOFFREY L. SUMMITT, P.E.
Date: December 2, 2015
FL Registration #58775
Certificate of Authorization #296665

Revisions		
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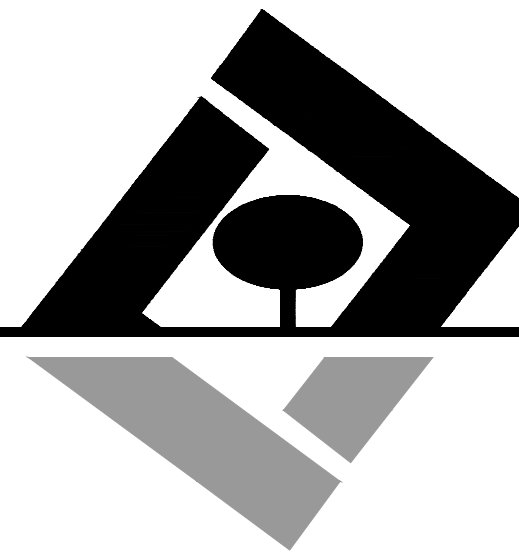
SHEET NUMBER
8 OF 9



600 NORTH ENTRANCE ROAD GEOMETRY DETAIL
1" = 20'



601 EAST ENTRANCE ROAD GEOMETRY DETAIL
1" = 20'



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**General
Details 2**

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GEOFFREY L. SUMMITT, P.E.
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Revisions

NO.	DATE	DESCRIPTION
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