

PRELIMINARY PLAT OF SPRINGS AT CHERRY LAKE

A Single-Family Residential Subdivision

LEGAL DESCRIPTION (PROVIDED BY LAND SURVEYOR)

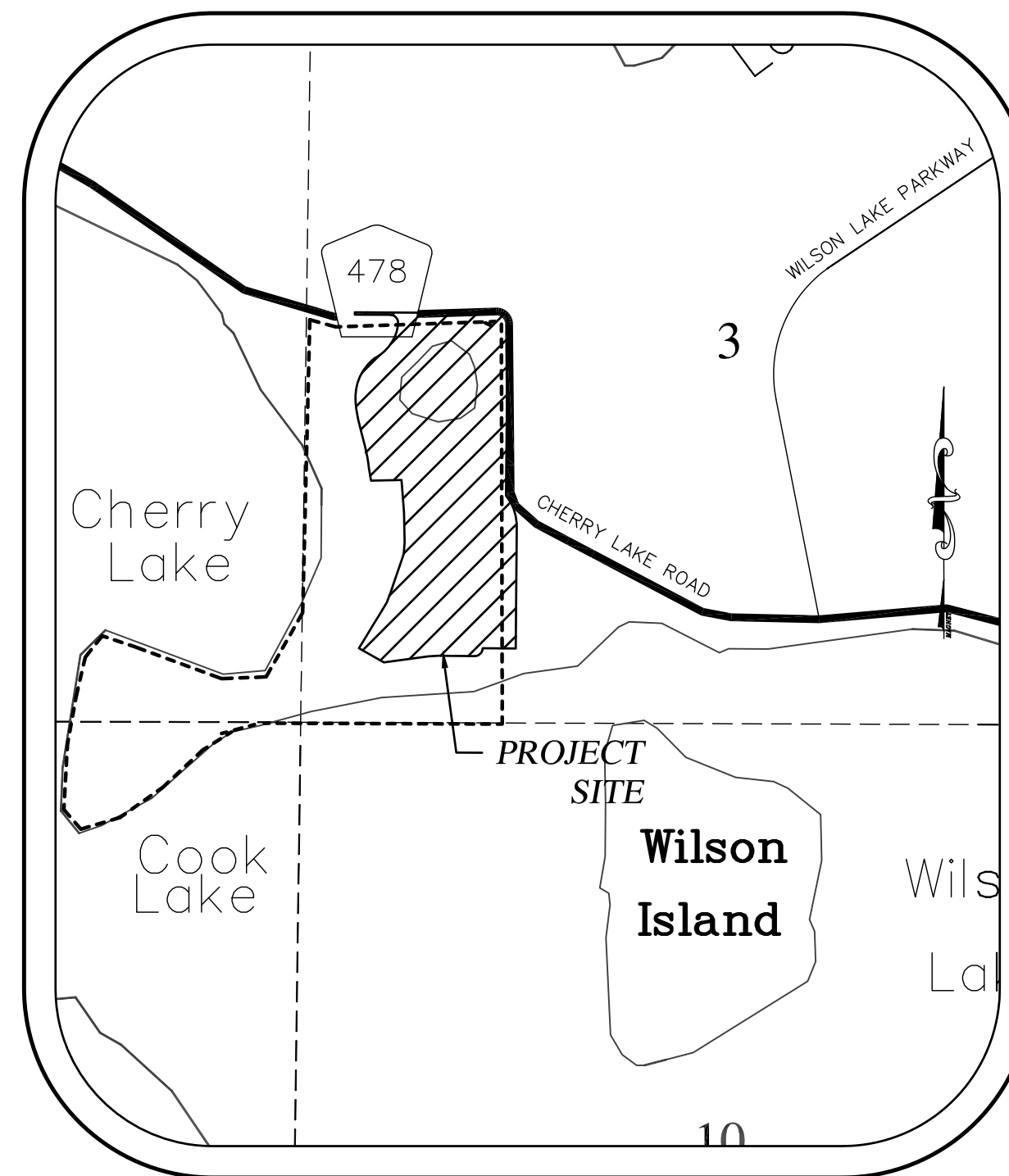
A parcel of land lying in and being a portion of Government Lot 5, Section 3, Township 22 South, Range 25 East, Lake County, Florida, being more particularly described as follows:

Commence at the Northeast corner of said Government Lot 5, thence coincident with the North Boundary of said Government Lot 5, N 89°38'51" W a distance of 99.33 feet to a point on the South Right-of-way Boundary of Cherry Lake Road said point being the POINT OF BEGINNING, said point also being on a non-tangent curve concave to the Southwest, said curve having a radius of 44.74 feet, a delta angle of 72°35'14" and being subtended by a chord bearing S 35°43'27" E for a distance of 52.97 feet; thence Southeasterly coincident with the arc said curve 56.68 feet to a point on the Westerly Right-of-way Boundary of Cherry Lake Road; thence coincident with said Westerly Right-of-way Boundary for the following two (2) calls; 1) S 00°34'08" W a distance of 1116.72 feet to a point on a curve concave to the Northeast, said curve having a radius of 243.63 feet, a delta angle of 44°40'27" and being subtended by a chord bearing S 21°43'46" E for a distance of 185.18 feet; 2) thence Southeasterly coincident with the arc of said curve 189.96 feet to a point on the East Boundary of said Government Lot 5; thence departing said Westerly Right-of-way Boundary coincident with said East Boundary, S 00°29'21" W a distance of 472.13 feet; thence departing said East Boundary, S 39°28'15" W a distance of 368.35 feet to a point on a non-tangent curve concave to the South, said curve having a radius of 50.00 feet, a delta angle of 105°05'17" and being subtended by a chord bearing S 72°30'18" W for a distance of 79.38 feet; thence coincident with the arc of said curve 91.71 feet to a point of reverse curvature with a curve concave to the North, said curve having a radius of 25.00 feet, a delta angle of 70°31'44" and being subtended by a chord bearing S 55°13'31" W for a distance of 28.87 feet; thence coincident with the arc of said curve 30.77 feet; thence N 89°30'37" W a distance of 157.21 feet to a point on a tangent curve concave to the South, said curve having a radius of 525.00 feet, a delta angle of 8°10'32" and being subtended by a chord bearing S 86°24'07" W for a distance of 74.85 feet; thence coincident with the arc of said curve 74.91 feet; thence S 82°18'51" W a distance of 180.47 feet to a point on a tangent curve concave to the North, said curve having a radius of 208.42 feet, a delta angle of 31°54'21" and being subtended by a chord bearing N 87°55'35" W for a distance of 114.57 feet; thence coincident with the arc of said curve 116.06 feet to a point of compound curvature with a curve concave to the Northeast, said curve having a radius of 207.95 feet, a delta angle of 1°35'25" and being subtended by a chord bearing N 62°49'45" W for a distance of 50.53 feet; thence coincident with the arc of said curve 50.66 feet; thence N 58°37'16" W a distance of 80.91 feet; thence N 31°22'51" E a distance of 104.00 feet; thence N 31°22'44" E a distance of 196.80 feet; thence N 18°44'06" E a distance of 316.45 feet; thence N 04°42'25" E a distance of 123.51 feet; thence N 03°09'47" W a distance of 170.00 feet; thence N 04°49'22" W a distance of 32.83 feet; thence S 87°33'56" W a distance of 140.22 feet to a point on a non-tangent curve concave to the West, said curve having a radius of 1428.62 feet, a delta angle of 9°38'28" and being subtended by a chord bearing N 07°15'40" W for a distance of 240.11 feet; thence coincident with the arc of said curve 240.39 feet; thence N 11°45'00" W a distance of 387.44 feet to a point on a tangent curve concave to the East, said curve having a radius of 270.00 feet, a delta angle of 63°27'20" and being subtended by a chord bearing N 19°58'11" E for a distance of 283.98 feet; thence coincident with the arc of said curve 299.03 feet; thence N 51°42'20" E a distance of 70.58 feet to a point on a curve concave to the Northwest, said curve having a radius of 300.00 feet, a central angle of 18°42'56" and being subtended by a chord bearing N 42°20'52" E for a distance of 97.56 feet; thence coincident with the arc of said curve 98.00 feet to a point of reverse curvature with a curve concave to the Southeast, said curve having a radius of 787.00 feet, a central angle of 6°16'08" and being subtended by a chord bearing N 36°07'28" E for a distance of 86.07 feet; thence coincident with the arc of said curve 86.11 feet to a point of reverse curvature with a curve concave Northwest, said curve having a radius of 93.00 feet, a central angle of 30°37'32" and being subtended by a chord bearing N 23°56'46" E for a distance of 49.12 feet; thence coincident with the arc of said curve 49.71 to a point of compound curvature concave to the West, said curve having a radius of 326.00 feet, a central angle of 8°16'52" and being subtended by a chord bearing N 04°29'35" E for a distance of 47.08 feet; thence coincident with the arc of said curve 47.12 feet; thence N 00°23'16" E a distance of 12.57 feet to a point on a curve concave Southeasterly, said curve having a radius of 25.00 feet, a central angle of 90°00'00" and being subtended by a chord bearing N 45°21'09" E for a distance of 35.36 feet; thence coincident with the arc of said curve 39.27 feet; thence N 00°00'00" E a distance of 15.00 feet to a point on the Southerly Right-of-way Boundary of Cherry Lake Road; thence coincident with said Southerly Right-of-way Boundary S 89°38'51" E a distance of 563.84 feet to the POINT OF BEGINNING.

Containing an area of 1660394.10 square feet, 38.117 acres more or less.

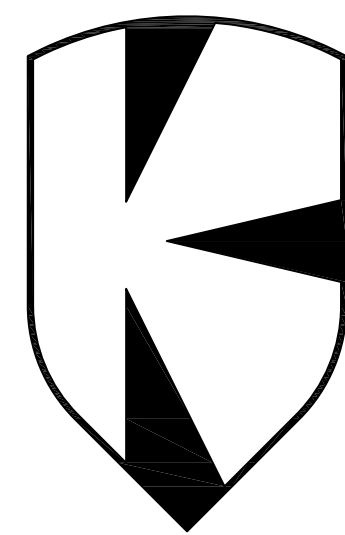
SERVICES

POTABLE WATER.....CITY OF GROVELAND
SANITARY SEWER.....CITY OF GROVELAND
ELECTRIC.....DUKE ENERGY
TELEPHONE.....EMBARQ
CABLE TELEVISION.....COMCAST
FIRE PROTECTION.....CITY OF GROVELAND
POLICE PROTECTION.....CITY OF GROVELAND
SCHOOLS.....LAKE COUNTY PUBLIC SCHOOLS



LOCATION MAP
SCALE 1"=1000'

SECTION 3, TOWNSHIP 22S, RANGE 25E
CITY OF GROVELAND, FLORIDA



THOMAS L. KNIGHT, P.E.
PROFESSIONAL ASSOCIATION
Planning, Design, Permitting, Inspection
1135 EAST AVENUE, CLERMONT, FL 34711
PHONE: (352) 394-8514

Certificate of Authorization No. 00029972

PROJECT NO.
K06-11

SEPTEMBER 2015

OWNERS/DEVELOPERS

L&D LLC
P.O. BOX 97
BELL, FL 32619

WANNEE LAND COMPANY
P.O. BOX 97
BELL, FL 32619

CASTLE MANAGEMENT PARTNERS, LLP
625 WALTHAM AVE.
ORLANDO, FL 32809

LAWRENCE E. WHITE, not individually but as Trustee under
LAND TRUST AGREEMENT LEWTA2, dated June 15, 1990
(the "LEWTA2 Land Trust")
625 WALTHAM AVE.
ORLANDO, FL 32809

LAND SURVEYOR

SURVTECH SOLUTIONS, INC.
10220 U.S. HWY 92 E.
TAMPA, FL 33610
(813) 621-4929

GEOTECHNICAL ENGINEER

ANDREYEV ENGINEERING, INC.
1170 W. MINNEOLA AVENUE
CLERMONT, FL 34711
(352) 241-0508

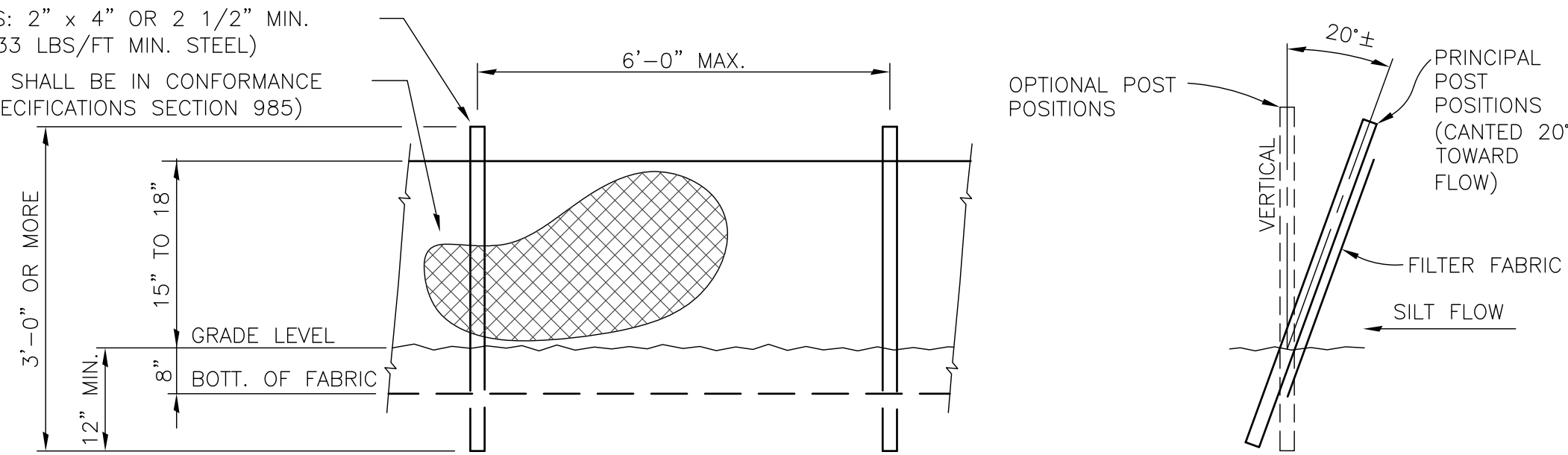
SHEET INDEX

COVER SHEET	1
EXISTING CONDITIONS	2
AERIAL OVERLAY	3
GEOMETRY PLAN	4
DRAINAGE PLAN	5
GRADING PLAN	6
UTILITY PLAN	7
C.R. 478 ROADWAY IMPROVEMENTS 1	8
C.R. 478 ROADWAY IMPROVEMENTS 2	9
TYPICAL CROSS-SECTIONS 1	10
TYPICAL CROSS-SECTIONS 2	11
GENERAL NOTES & DETAILS	12
MASTER EASEMENT AGREEMENT	1 OF 1

NOTES:
THE PROPERTY LINE BOUNDARY INFORMATION AND OFFSITE EASEMENT INFORMATION SHOWN HEREON IS BASED ON PROPOSED OWNERSHIP AND PROPOSED EASEMENT AGREEMENTS WITH THE ADJACENT PROPERTY OWNER(S). A PORTION OF THE PROPERTY LOCATED WITHIN THE PROPOSED PROPERTY LINE AND WITHIN THE PROPOSED EASEMENTS SHOWN HEREON IS OWNED BY ENTITIES OTHER THAN THE OWNER INDICATED ON THESE PLANS. AT THE TIME THESE PLANS WERE CERTIFIED BY THE ENGINEER OF RECORD, DEEDS FOR OWNERSHIP AND EASEMENTS HAD NOT BEEN EXECUTED. THIS SUBMITTAL IS BEING MADE FOR REVIEW PURPOSES ONLY.
PRELIMINARY PLAT - FOR REVIEW ONLY - NOT FOR CONSTRUCTION

THOMAS L. KNIGHT
#47614

POST (OPTIONS: 2" x 4" OR 2 1/2" MIN. DIA. WOOD; 1.33 LBS/FT MIN. STEEL)
 FILTER FABRIC SHALL BE IN CONFORMANCE WITH FDOT SPECIFICATIONS SECTION 985)



ELEVATION
 SECTION
TYPE III SILT FENCE
 NTS

NOTE:
 WHERE USED IN DITCHES, THE SPACING FOR TYPE III SILT FENCE SHALL BE IN ACCORDANCE WITH FDOT DESIGN STANDARDS, 2002, INDEX NO. 102, SHEET 1 OF 3, CHART NO. 1.

EROSION CONTROL PLAN

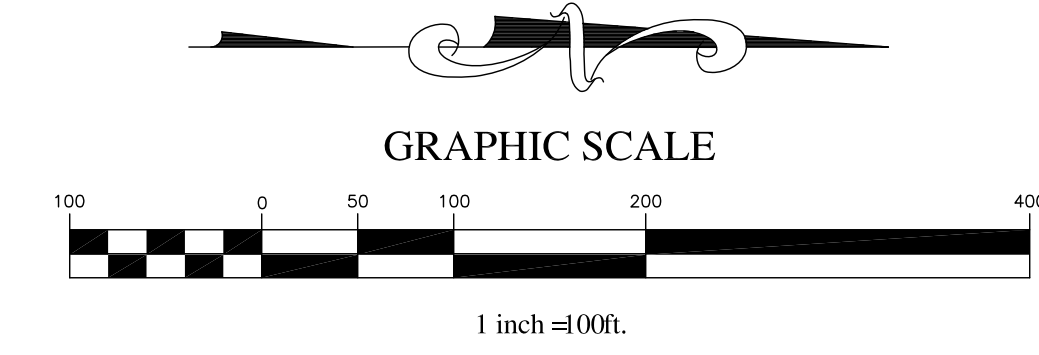
An erosion control plan shall be implemented by the Contractor and the Contractor shall execute all measures necessary to limit the transport of sediments outside the limits of the project to the quantities and conditions that exist prior to the commencement of construction. This condition will be satisfied for the total anticipated construction period. Provisions shall be made to preserve the integrity and capacity of stormwater inlets, sediment basins, slope drains, grading patterns, etc. required to meet this provision throughout the life of the construction of the project. Contractor shall provide silt barriers, temporary grassing, etc. as required to fully comply with the intent of this specification. Upon completion of construction and completed stabilization of potential erosion areas, the contractor shall remove sedimentation control measures and clean and repair any areas affected by the construction activities.

STOCKPILING MATERIAL
 No excavated material shall be stockpiled in such a manner as to direct stormwater off the project site or into any adjacent water body or stormwater collection system. Excavated material shall not be stockpiled so as to washout and cause sedimentation of any down-stream drainage structures or water bodies.

TEMPORARY SEEDING
 Areas opened by construction operations that are not anticipated to be dressed and receive final grassing treatment within thirty days shall be seeded with a quick growing grass species which will provide early cover during the season in which it is planted, and will not later compete with the permanent grassing. The minimum rate of seeding shall be 30 lb. per acre.

MAINTENANCE
 All features of the project shall be constructed to prevent erosion and sedimentation and shall be maintained during the life of the construction so as to function properly without the transport of sediments outside the limits of the project. Any sediment accumulations in the drainage system shall be removed and the system restored to original specifications prior to the completion and final approval of the project. Upon final approval and completion of construction, maintenance responsibilities may be transferred to an approved entity.

CURVE	LENGTH	RADIUS	DELTA
C131	50.66	207.95	135°27'25"
C132	116.06	208.42	31°54'21"
C133	74.91	525.00	8°10'32"
C134	30.77	25.00	70°31'44"
C135	91.71	50.00	105°05'17"
C136	216.46	258.63	47°57'20"
C137	370.01	234.92	90°14'38"
C138	39.27	25.00	90°00'00"
C139	47.37	229.00	115°11'06"
C140	43.96	93.00	27°05'00"
C141	85.51	787.00	6°13'29"
C142	98.00	300.00	18°42'56"
C143	299.03	270.00	63°27'20"
C144	240.40	1428.62	9°38'29"



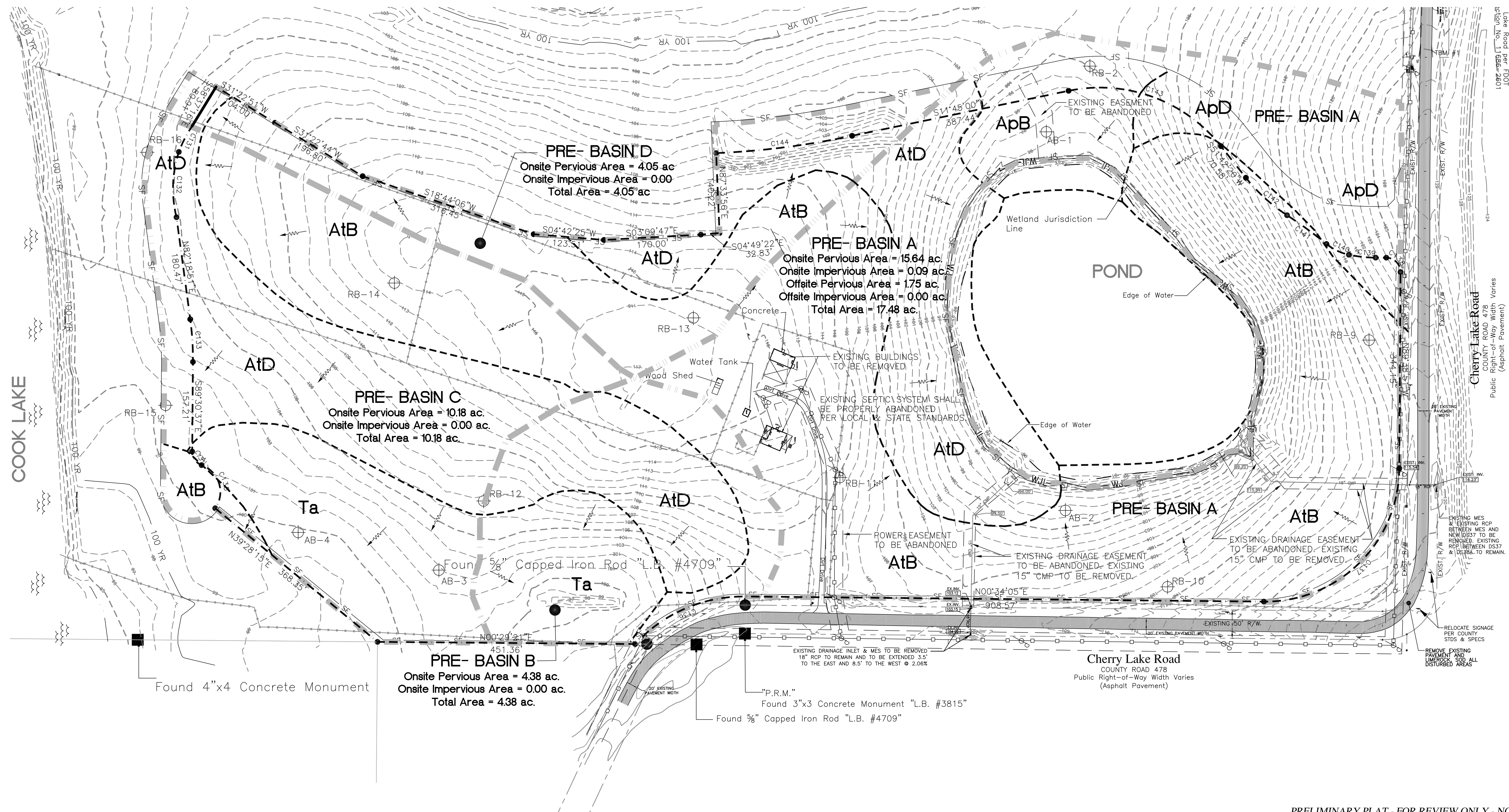
LEGEND

- PROPERTY LINE
- - - - - RIGHT-OF-WAY LINE
- ROADWAY CENTERLINE
- - - - - EASEMENT LINE
- - - - - EXISTING 5' CONTOUR LINE
- - - - - EXISTING 1' CONTOUR LINE
- SF --- SF --- SILT FENCE
- DRAINAGE DIVIDE LINE
- SOIL DIVIDE LINE
- EXISTING FENCE
- EXISTING POWER LINES
- SHORELINE
- WJL --- WJL --- WETLANDS JURISDICTION LINE
- ⊕ --- BORING LOCATION
- EXISTING DRAINAGE FLOW ARROW

SOILS LEGEND

Symbol	Description	HSG
AtB	Astataula Sand 0-5% Slopes	A
AtD	Astataula Sand 5-12% Slopes	A
ApB	Apopka Sand 0-5% Slopes	A
ApD	Apopka Sand 5-12% Slopes	A
Ta	Tavares Sand	A

NOTES:
 1. ALL EXISTING STRUCTURES, FENCES, CONCRETE SLABS, SEPTIC SYSTEMS, AND WATER WELLS SHALL BE DEMOLISHED AND DISPOSED OF OFFSITE IN ACCORDANCE WITH ALL LOCAL AND STATE REGULATIONS.
 2. ALL UTILITY POLES AND OVERHEAD UTILITY LINES IN CONFLICT WITH THE PROPOSED IMPROVEMENTS SHALL BE RELOCATED IN ACCORDANCE WITH THE REQUIREMENTS OF THE UTILITY COMPANY OWNING THE POLES AND LINES.



SPRINGS AT CHERRY LAKE
 SECTION 3; TOWNSHIP 22S; RANGE 25E, CITY OF GROVELAND, FLORIDA
 OWNER/DEVELOPER: L&D LLC, ET AL
 ADDRESS: P.O. BOX 97, BELL, FL 32619 PHONE: (352) 463-2942

DATE: NOVEMBER 2014
 DRAWN BY: TLK
 APPROVED BY: TLK
 SCALE: 1" = 100'
 REVISIONS:
 05/15 REVISED PER CITY RAI

PROJECT NO. K06-11
 EXISTING CONDITIONS

THOMAS L. KNIGHT
 #47614

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 PROFESSIONAL ASSOCIATION
 Planning, Design, Permitting, Inspection
 1135 EAST AVENUE, CLERMONT, FL 34711
 PHONE: (352) 394-8514 FAX: (352) 394-8541
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CURVE TABLE			
CURVE	LENGTH	RADIUS	DELTA
C1	216.46	258.63	47°57'20"
C2	23.80	25.00	54°32'58"
C3	15.47	25.00	35°27'02"
C4	39.27	25.00	90°00'00"
C5	26.58	393.66	3°52'09"
C6	86.52	298.60	12°35'34"
C7	42.34	393.66	6°09'46"
C8	48.01	525.00	5°14'23"
C9	37.20	25.00	9°30'58"
C10	85.23	525.00	9°18'04"
C11	85.58	525.00	9°20'25"
C12	88.37	525.00	9°38'38"
C13	149.77	525.00	16°20'44"
C14	154.40	475.00	18°37'28"
C15	47.23	25.00	08°14'43"
C16	30.77	25.00	7°03'14"
C17	91.71	50.00	105°05'17"
C18	126.92	50.00	45°26'26"
C19	67.78	475.00	8°10'32"
C20	142.00	258.42	31°29'00"
C21	62.51	257.85	13°53'02"
C22	50.66	207.95	13°52'25"
C23	42.30	25.00	96°57'00"
C24	86.21	280.03	17°38'22"
C25	6.49	280.03	1°19'43"
C26	49.69	225.00	12°39'13"
C27	30.31	845.00	2°03'19"
C28	82.69	845.00	5°52'04"
C29	49.53	845.00	3°21'29"
C30	36.00	475.00	4°20'32"
C31	107.16	475.00	12°55'32"
C32	107.16	475.00	12°55'32"
C33	106.40	475.00	12°50'03"
C34	4.69	475.00	0°33'56"
C35	78.16	763.19	5°52'04"
C36	82.46	763.19	6°11'27"
C37	31.57	763.19	2°22'12"
C38	43.61	25.00	99°56'35"
C39	63.44	50.00	77°44'43"
C40	20.86	50.00	22°54'33"
C41	57.99	50.00	66°27'06"
C42	44.83	50.00	66°27'06"
C43	16.06	25.00	36°47'58"
C44	29.83	25.00	6°50'08"
C45	36.69	25.00	8°24'30"
C46	73.49	25.00	16°50'33"
C47	31.43	25.00	72°01'24"
C48	73.19	125.00	33°32'48"
C49	20.76	125.00	9°31'01"

CURVE TABLE			
CURVE	LENGTH	RADIUS	DELTA
C50	68.25	125.00	31°17'09"
C51	27.31	180.00	8°41'39"
C52	221.42	180.00	70°28'44"
C53	34.70	180.00	11°02'38"
C54	30.77	25.00	7°03'14"
C55	62.90	50.00	72°04'55"
C56	58.78	50.00	67°21'29"
C57	96.94	50.00	11°05'20"
C58	362.15	230.00	9°01'30"
C59	124.62	175.00	40°48'10"
C60	16.29	75.00	12°26'44"
C61	51.64	25.00	18°21'38"
C62	39.27	25.00	9°00'00"
C63	370.22	235.00	89°04'45"
C64	39.27	25.00	9°00'00"
C65	47.37	229.00	11°51'06"
C66	43.96	93.00	27°05'00"
C67	85.51	787.00	6°13'29"
C68	98.00	300.00	18°42'56"
C69	281.18	270.00	59°40'08"
C70	67.27	1428.62	2°41'53"
C71	82.57	1428.62	3°18'42"
C72	90.02	1428.62	3°36'38"
C73	231.47	1378.62	9°37'12"
C74	137.02	320.00	24°31'59"
C75	217.38	320.00	38°55'21"
C76	211.27	250.00	48°25'07"
C77	81.13	50.00	92°57'50"
C78	60.73	275.00	12°39'13"
C79	75.66	795.00	5°27'11"
C80	77.25	795.00	5°34'01"
C81	14.42	525.00	1°34'25"
C82	81.46	525.00	8°53'28"
C83	81.46	525.00	8°53'26"
C84	81.46	525.00	8°53'26"
C85	81.46	525.00	8°53'26"
C86	81.46	525.00	8°53'26"
C87	81.46	525.00	8°53'26"
C88	59.17	525.00	7°27'28"
C89	23.90	713.19	1°55'13"
C90	98.47	713.19	7°15'11"
C91	67.32	713.19	4°38'19"
C92	33.90	25.00	77°41'03"
C93	16.41	100.00	9°24'10"
C94	5.08	100.00	2°54'47"
C95	39.27	25.00	9°00'00"
C96	25.30	443.59	3°16'02"
C97	73.19	125.00	33°32'48"
C98	68.96	443.59	8°54'23"

LINE TABLE		
LINE	LENGTH	BEARING
L1	12.94	N44°16'46"E
L2	30.08	N15°28'21"E
L3	28.14	N02°47'33"W
L4	39.23	N12°59'22"E
L5	41.39	N05°35'40"W
L6	40.41	N09°07'30"W
L7	48.84	N11°02'07"W
L8	57.40	N08°27'09"W
L9	40.63	N22°21'17"W
L10	30.38	N37°20'56"W
L11	18.09	N07°15'36"W
L12	4.98	N29°08'01"E
L13	18.98	N03°18'10"E
L14	68.43	N88°42'40"W
L15	30.05	N75°17'14"W
L16	35.32	N10°36'24"W
L17	67.65	N89°11'58"W
L18	41.44	S71°06'10"W
L19	54.20	S52°29'29"W
L20	95.07	S39°23'59"W
L21	48.40	S64°01'29"W
L22	110.87	S47°28'01"W
L23	52.41	S42°39'03"W
L24	47.47	S26°39'22"W
L25	49.89	S01°25'20"E
L26	40.20	S04°56'46"E
L27	38.66	S02°23'59"E
L28	31.82	S86°16'01"E
L29	5.09	S80°38'17"W
L30	58.15	S47°56'02"E
L31	35.70	S57°17'01"E
L32	43.15	S67°56'38"E
L33	27.68	S78°29'22"E
L34	45.99	S02°31'15"E
L35	51.72	S83°31'22"E
L36	32.39	N88°27'11"E
L37	68.25	N18°14'02"E
L38	66.04	N78°42'27"E
L39	48.24	N72°22'19"E
L40	46.05	N85°53'36"E
L41	56.10	N41°08'14"E
L42	24.68	N30°28'47"E

PROJECT CHARACTERISTICS

EXISTING USESINGLE-FAMILY MEDIUM DENSITY ZONINGR-2
 EXISTING LAND USESINGLE FAMILY MEDIUM DENSITY
 MINIMUM LOT WIDTH AT R/W50'
 MINIMUM LOT WIDTH AT BSL50'
 MINIMUM STRUCTURE SIZE (PER DEVELOPER)2400 SF
 MINIMUM LOT SIZE9000 SF
 MAXIMUM LOT COVERAGE60%

MINIMUM BUILDING SETBACK REQUIREMENTS:
 FROM FRONT PROPERTY LINES25'
 FROM REAR PROPERTY LINES10'
 FROM STREET PROPERTY LINES10'
 FROM SIDE SIDE PROPERTY LINES15'
 FROM WETLAND JURISDICTION LINE25'

TOTAL PROPERTY AREA37.18 AC
 TOTAL UPLAND AREA31.64 AC +/-
 RECREATIONAL AREA0.63 AC
 PERPETUAL OPEN SPACE AREA4.80 AC
 TOTAL NUMBER OF RESIDENTIAL LOTS (ULTIMATE)68

TOTAL LENGTH OF INTERIOR STREETS4,327'
 RIGHT-OF-WAY AREA5.19 AC.
 TOTAL WETLAND AREA5.54 AC.
 TOTAL UPLAND BUFFER AREA0.76 AC.
 TOTAL TRACT AREA10.38 AC.
 TOTAL NON-RESIDENTIAL AREA15.57 AC.
 TOTAL RESIDENTIAL AREA (ULTIMATE)21.61 AC.

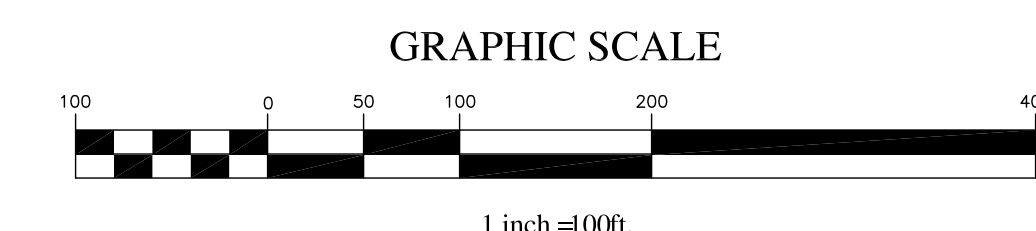
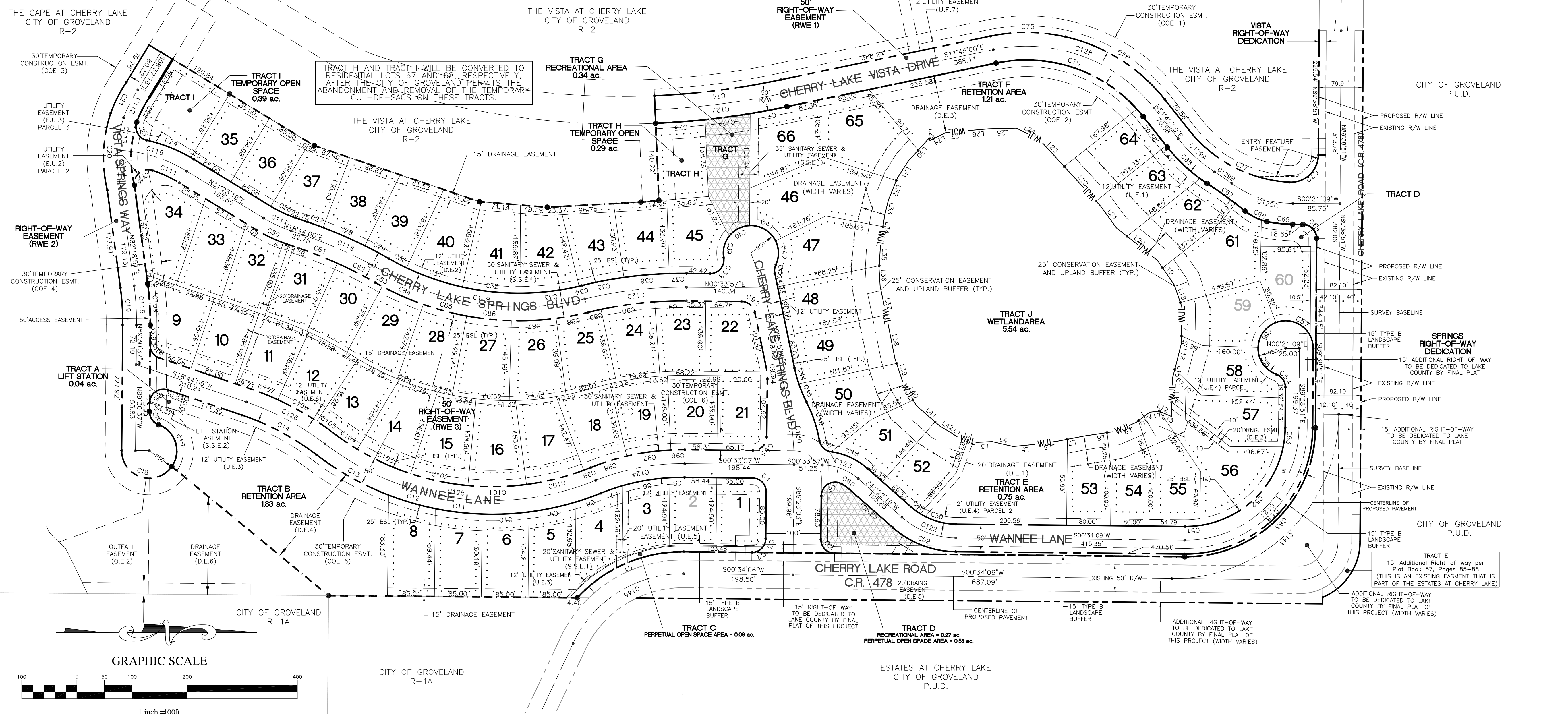
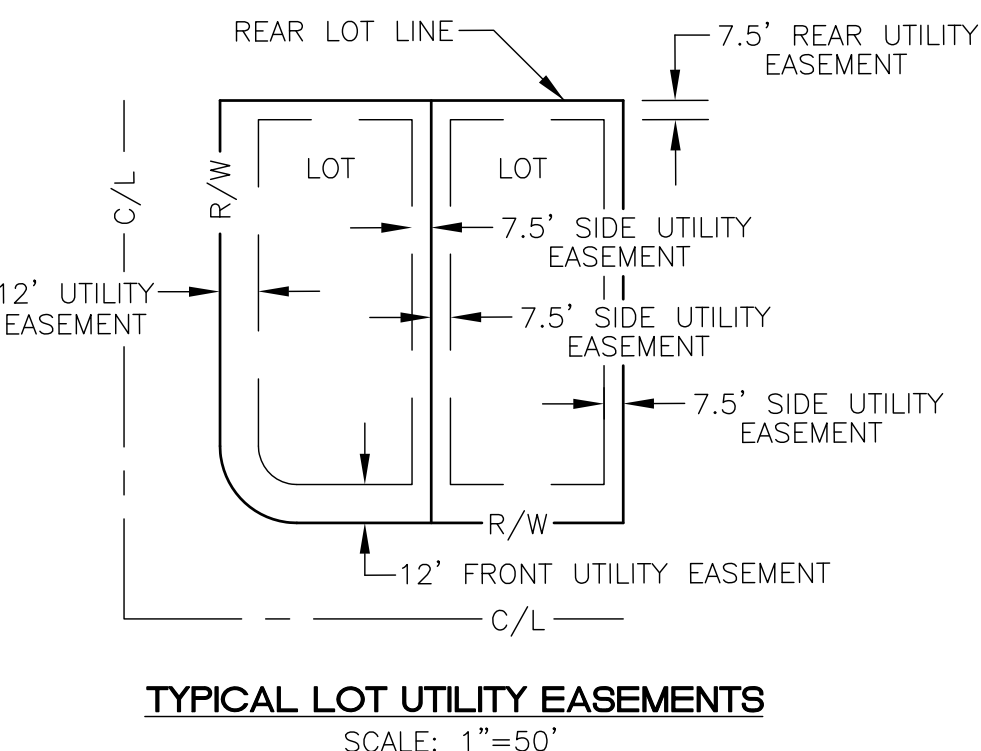
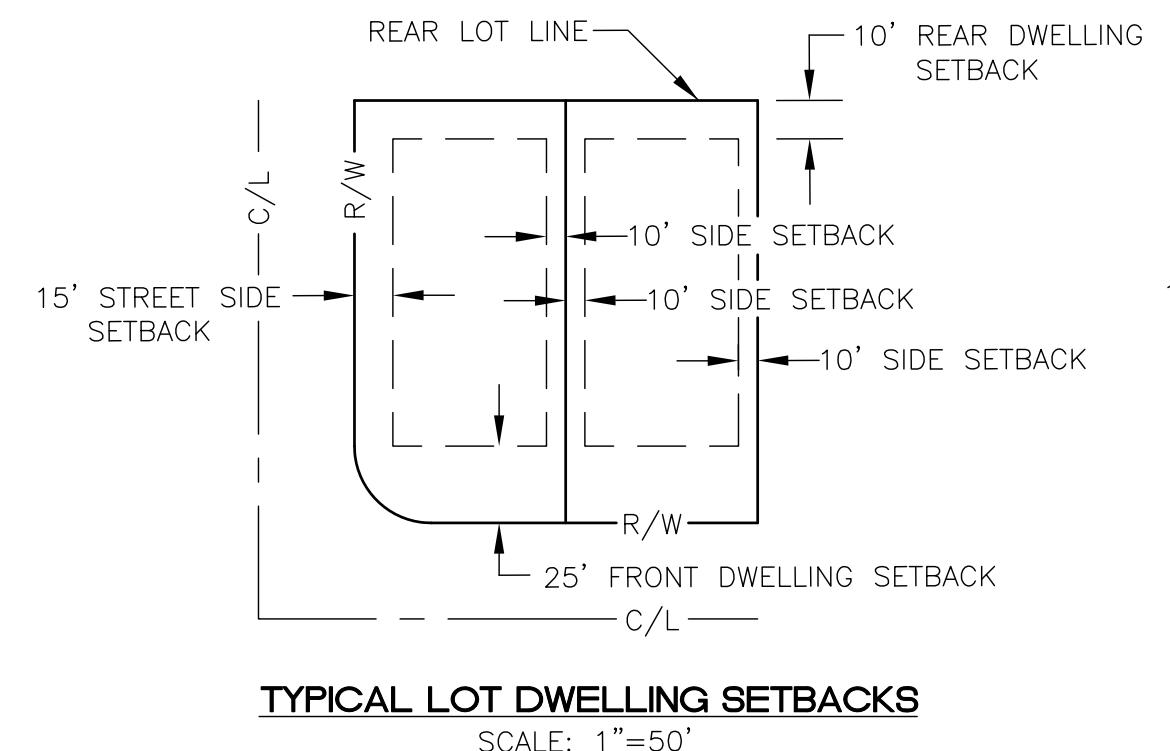
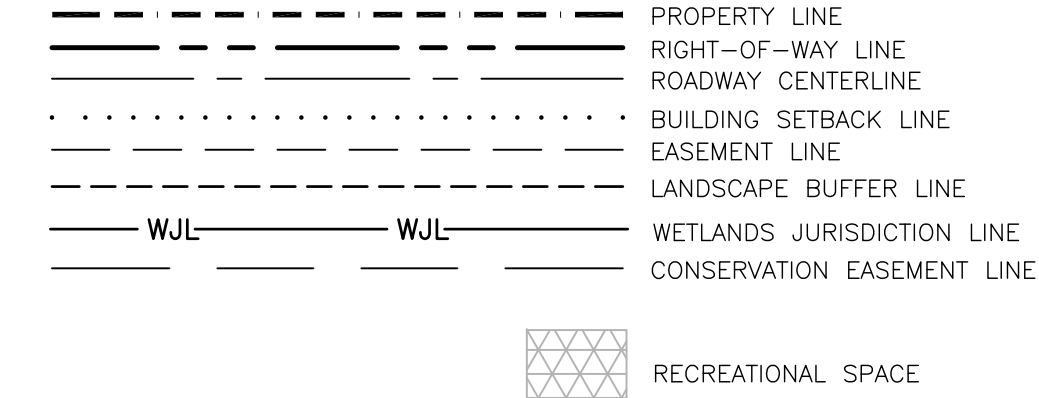
ULTIMATE GROSS DENSITY: 68 LOTS / 37.18 AC.
 = 1.83 LOTS/AC.
 = 0.55 AC./LOT

THIS PROJECT WILL BE CONSTRUCTED IN ONE PHASE OF DEVELOPMENT.

OPEN/RECREATIONAL SPACE CALCULATIONS

68 LOTS @ 2.5 RESIDENTS PER HOME170 RESIDENTS
 RECREATIONAL SPACE REQUIRED (3.00 ac./1000 RES.)*170 RES0.51 ac.
 RECREATIONAL SPACE PROVIDED0.61 ac.
 OPEN SPACE REQUIRED (6.00 ac./1000 RES.)*170 RES1.02 ac.
 PERPETUAL OPEN SPACE PROVIDED4.80 ac.

LEGEND



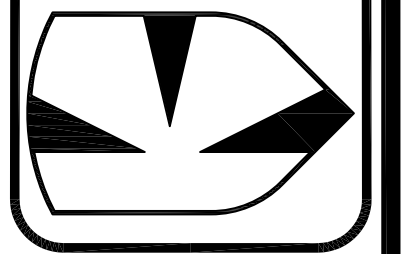
THOMAS L. KNIGHT, P.E.
PROFESSIONAL ASSOCIATION
 Planning, Design, Permitting, Inspection
 1135 EAST AVENUE, CLERMONT, FL 34711
 PHONE: (352) 394-8514 FAX: (352) 394-8541
 Certificate of Authorization No. 00029972

SPRINGS AT CHERRY LAKE
 SECTION 3; TOWNSHIP 25S; RANGE 25E, CITY OF GROVELAND, FLORIDA
 OWNER/DEVELOPER: L&D LLC, ET AL
 ADDRESS: P.O. BOX 97, BELL, FL 32619 PHONE: (352) 463-2942

DATE: NOVEMBER 2014
 DRAWN BY: TLK
 APPROVED BY: TLK
 SCALE: 1" = 100'
 REVISIONS:
 02/15 REVISED PER TLK/PEPA
 05/15 REVISED PER CITY RAI

PROJECT NO. K06-11
 GEOMETRY PLAN
 THOMAS L. KNIGHT #47614
 SHEET: 4 OF 12

THOMAS L. KNIGHT, P.E.
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SPRINGS AT CHERRY LAKE

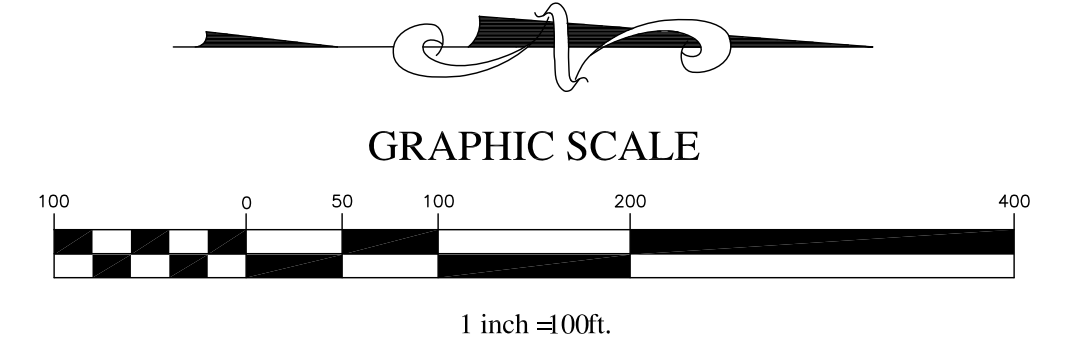
SECTION 3: TOWNSHIP 22S; RANGE 25E; CITY OF GROVELAND, FLORIDA
 OWNER/DEVELOPER: L&D LLC, ET AL
 ADDRESS: P.O. BOX 97, BELL, FL 32619 PHONE: (352) 463-2942

DATE: NOVEMBER 2014
 DRAWN BY: TLK
 APPROVED BY: TLK
 SCALE: 1" = 100'
 REVISIONS: 05/15 REVISED PER CITY RA

PROJECT NO. K06-11

DRAINAGE PLAN

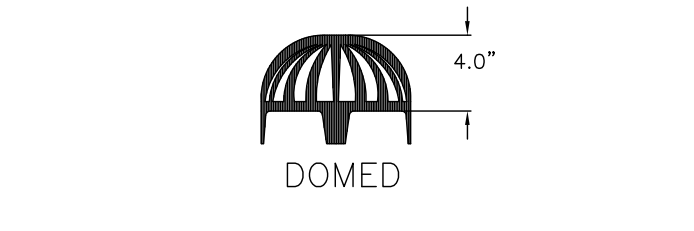
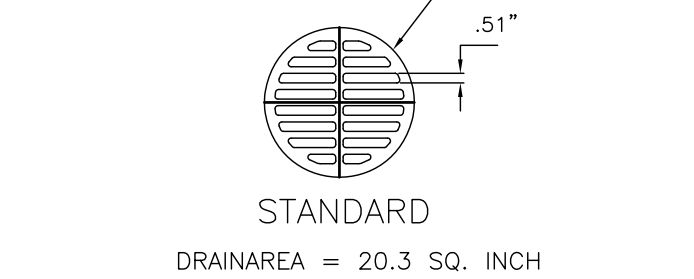
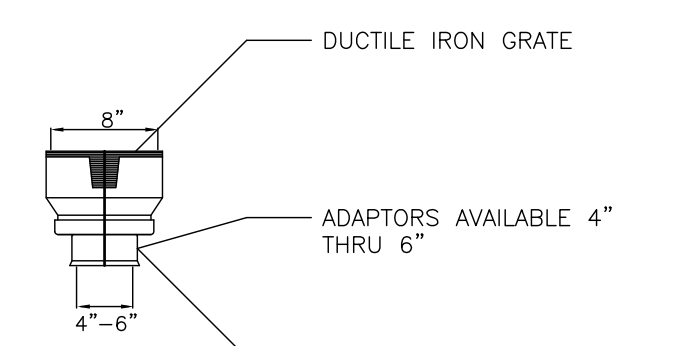
SHEET: 5 OF 12



LEGEND

	PROPERTY LINE
	RIGHT-OF-WAY LINE
	ROADWAY CENTERLINE
	BUILDING SETBACK LINE
	EASEMENT LINE
	EXISTING 5' CONTOUR LINE
	EXISTING 1' CONTOUR LINE
	STORM DRAINAGE PIPE
	SILT FENCE
	DRAINAGE DIVIDE LINE
	WETLANDS JURISDICTION LINE
	SHORELINE
	PROPOSED STEM WALL

- SLOPE INDICATOR
- DRAINAGE FLOW ARROW
- PROPOSED MITERED END SECTION W/ ENERGY DISSIPATOR
- PROPOSED CURB INLET
- STORM INLET
- STOP SIGN WITH 24" THERMOPLASTIC STOP BAR
- 25 MPH SIGN
- STREET NAME SIGN
- 25LF-6" WHITE SOLID STRIPE
- SODDED OVERFLOW WEIR

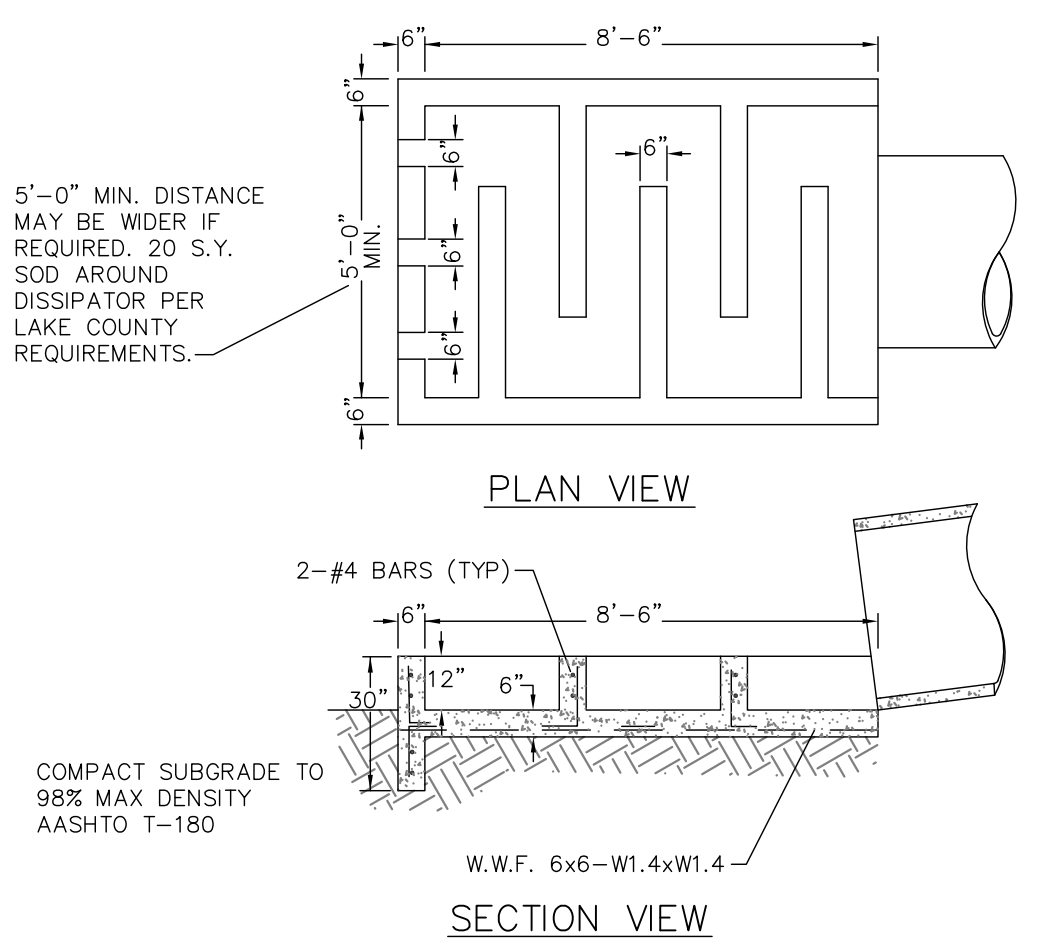


CASTINGS ARE RATED FOR LIGHT WHEEL LOAD TRAFFIC
 QUALITY: MATERIAL SHALL CONFORM TO ASTM A48 - CLASS 30B
 PAINT: CASTINGS ARE FURNISHED WITH A BLACK PAINT



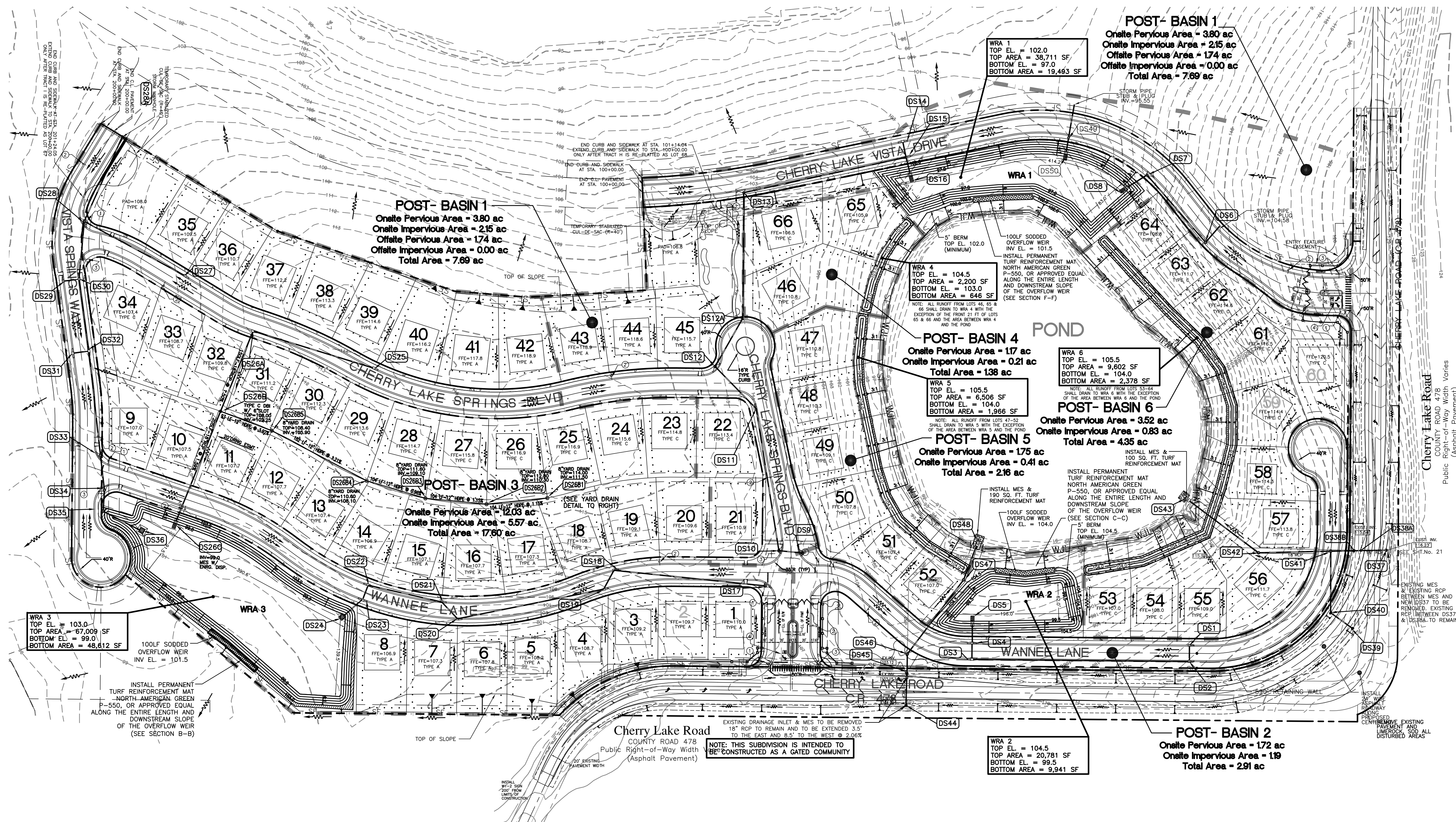
GENERAL NOTES:

1. THE PROPOSED STORMWATER MANAGEMENT SYSTEM WILL BE OPERATED AND MAINTAINED BY THE SPRINGS AT CHERRY LAKE HOMEOWNERS ASSOCIATION.
2. ALL STORMWATER RETENTION AREA SIDE SLOPES WILL BE SODDED.
3. SOD ALL SLOPES IN EXCESS OF 5:1. ALL DISTURBED AREAS SHALL BE SEEDED AND MULCHED UNLESS OTHERWISE NOTED.
4. ALL CONSTRUCTION SHALL CONFORM TO AND SHALL BE INSTALLED AND CLEARED FOR SERVICE IN ACCORDANCE WITH THE CITY OF GROVELAND STANDARDS UNLESS STATED OTHERWISE ON THE PLANS.
5. ALL EARTHWORK OPERATIONS SHALL BE IN ACCORDANCE WITH THE SPECIFICATIONS, PLANS AND RECOMMENDATIONS OF THE GEOTECHNICAL ENGINEER (AS APPLICABLE).
6. WHEN TRENCH EXCAVATION EXCEEDS (5) FIVE IN DEPTH:
 - A. CONTRACTOR SHALL CONFORM TO OSHA STD. 29CFR. SECTION 1926.650 WHICH IS INCORPORATED IN FL. STATE 90-96.
 - B. THE CONTRACTOR SHALL PROVIDE WRITTEN ASSURANCE OF COMPLIANCE WITH THIS LAW.
 - C. TRENCH SAFETY SYSTEM SHALL BE DESIGNED BY THE CONTRACTOR.
7. ALL PIPES SHALL HAVE A MINIMUM COVER OF 36 INCHES OF COVER
8. ALL DRAINAGE PIPES SHALL BE REINFORCED CONCRETE PIPE ONLY, A MINIMUM DIAMETER OF 18 INCHES, AND CLASS III, UNLESS OTHERWISE NOTED.
9. DRAINAGE STRUCTURE TOP ELEVATION REFERS TO TOP OF FINISHED STRUCTURE. CONTRACTOR SHALL SCHEDULE A PRE-CONSTRUCTION MEETING WITH THE CITY OF GROVELAND AND THE ENGINEER OF RECORD.
10. THE CONTRACTOR SHALL ENSURE THAT ALL PERMITS FOR CONSTRUCTION ARE OBTAINED PRIOR TO STARTING WORK. ALL PERMITS SHALL BE PROVIDED TO THE CITY OF GROVELAND PRIOR TO STARTING WORK.
11. CONTRACTOR TO COORDINATE WITH UTILITY COMPANIES PRIOR TO ANY CONSTRUCTION ACTIVITY FOR DIG PERMITS, ELECTRICAL PERMITS OR OTHER PERMITS AS APPLICABLE. CONTRACTOR IS TO COORDINATE FULLY WITH UTILITY COMPANIES ON EXACT LOCATION OF UNDERGROUND UTILITIES PRIOR TO EXCAVATION.
12. THE LOCATIONS OF ALL EXISTING UTILITIES AND STORM DRAINAGE SHOWN ON THE PLANS HAVE BEEN DETERMINED FROM AVAILABLE INFORMATION AND ARE GIVEN FOR THE CONVENIENCE OF THE CONTRACTOR. THE OWNER OR ENGINEER ASSUMES NO RESPONSIBILITY FOR INACCURACY. PRIOR TO THE START OF CONSTRUCTION, IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY THE VARIOUS UTILITIES AND TO MAKE THE NECESSARY ARRANGEMENTS FOR ANY RELOCATION OF THESE UTILITIES WITH THE UTILITY COMPANY. THE CONTRACTOR SHALL EXERCISE CAUTION WHEN CROSSING ANY UNDERGROUND UTILITY. EXISTING UTILITIES WHICH INTERFERE WITH THE PROPOSED CONSTRUCTION SHALL BE RELOCATED AS DIRECTED ON THESE PLANS.
13. ALL PROPERTY AFFECTED BY THIS WORK SHALL BE RESTORED TO A CONDITION EQUAL TO OR BETTER THAN EXISTED UNLESS SPECIFICALLY EXEMPTED BY THE PLANS. THE COST FOR SUCH RESTORATION SHALL BE INCIDENTAL TO OTHER CONSTRUCTION AND NO EXTRA COMPENSATION WILL BE ALLOWED.
14. PRIOR TO BEGINNING NEW PHASE CONSTRUCTION, THE CONTRACTOR SHALL INSTALL EROSION CONTROL DEVICES AT ALL DOWN STREAM INLETS AND SWALES, IN ADDITION TO THE EROSION CONTROL MEASURES AS SHOWN ON SHEET No. 2.
15. BUILDING HEIGHT WILL NOT EXCEED 35 FEET.
16. ALL SOD INSTALLED ON SITE SHALL BE NON-MUCK GROWN SOD.
17. RECREATION EQUIPMENT MUST BE APPROVED BY THE COMMUNITY DEVELOPMENT DEPARTMENT AND MUST BE INSTALLED BY THE TIME HALF OF THE CERTIFICATES OF OCCUPANCY ARE ISSUED ON THE FIRST DEVELOPMENT.



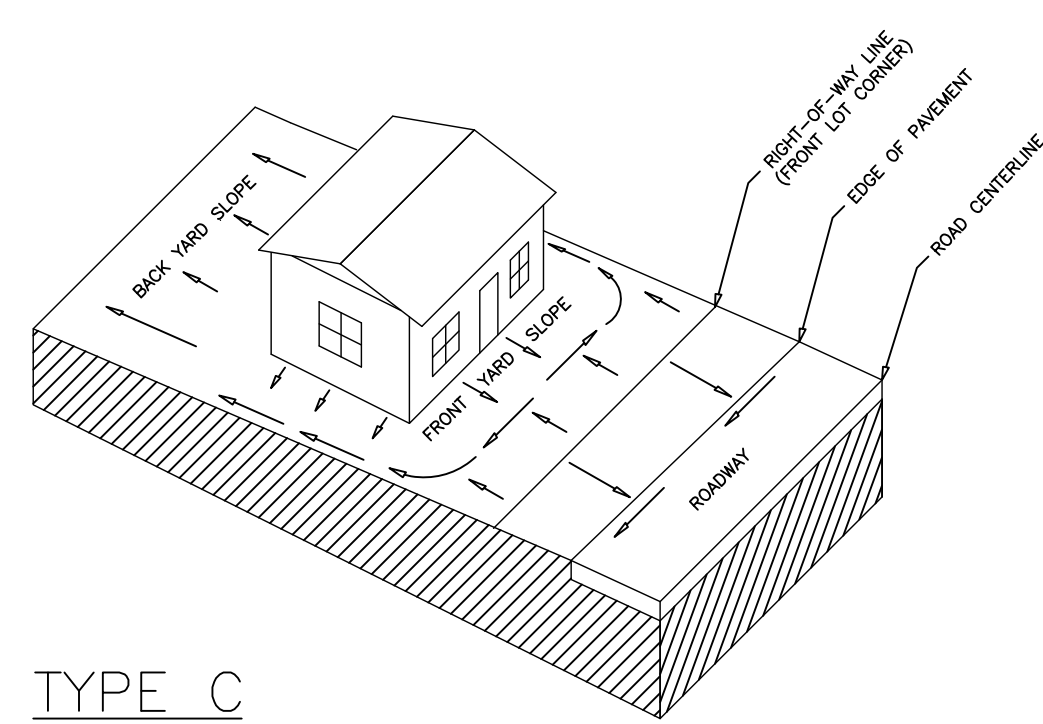
ENERGY DISSIPATOR DETAIL
 N.T.S.

CONSTRUCTION TO BE 3000 P.S.I. PRECAST OR IN PLACE STRUCTURE SHOP DRAWING REQUIRED.

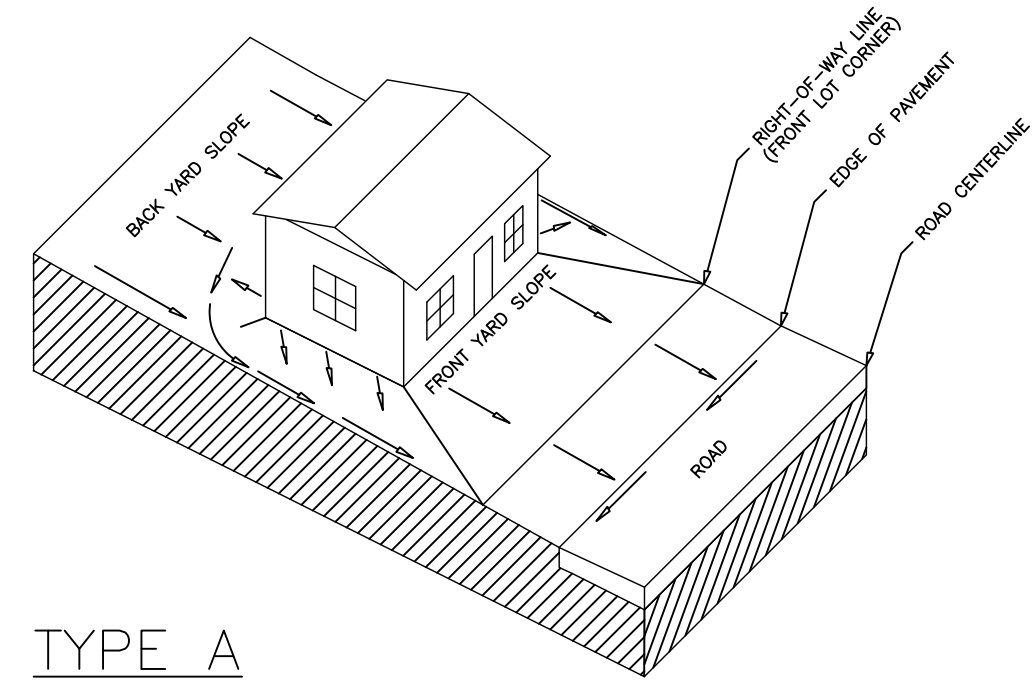


THOMAS L. KNIGHT
 #47614

PRELIMINARY PLAT - FOR REVIEW ONLY - NOT FOR CONSTRUCTION



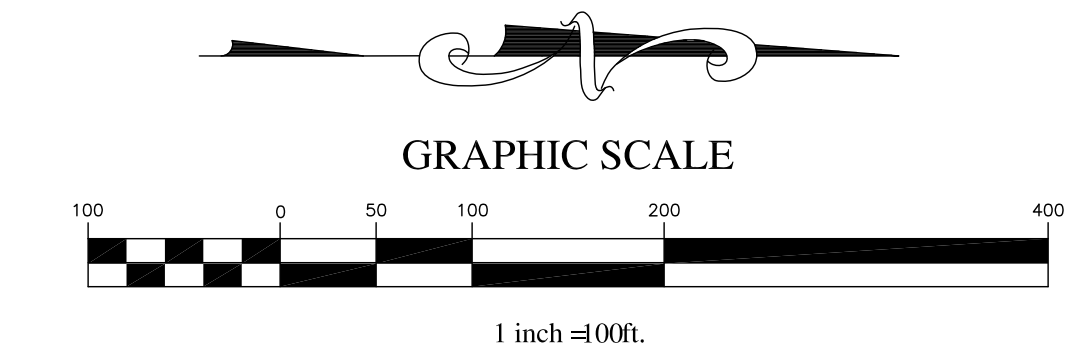
TYPE C



TYPE A

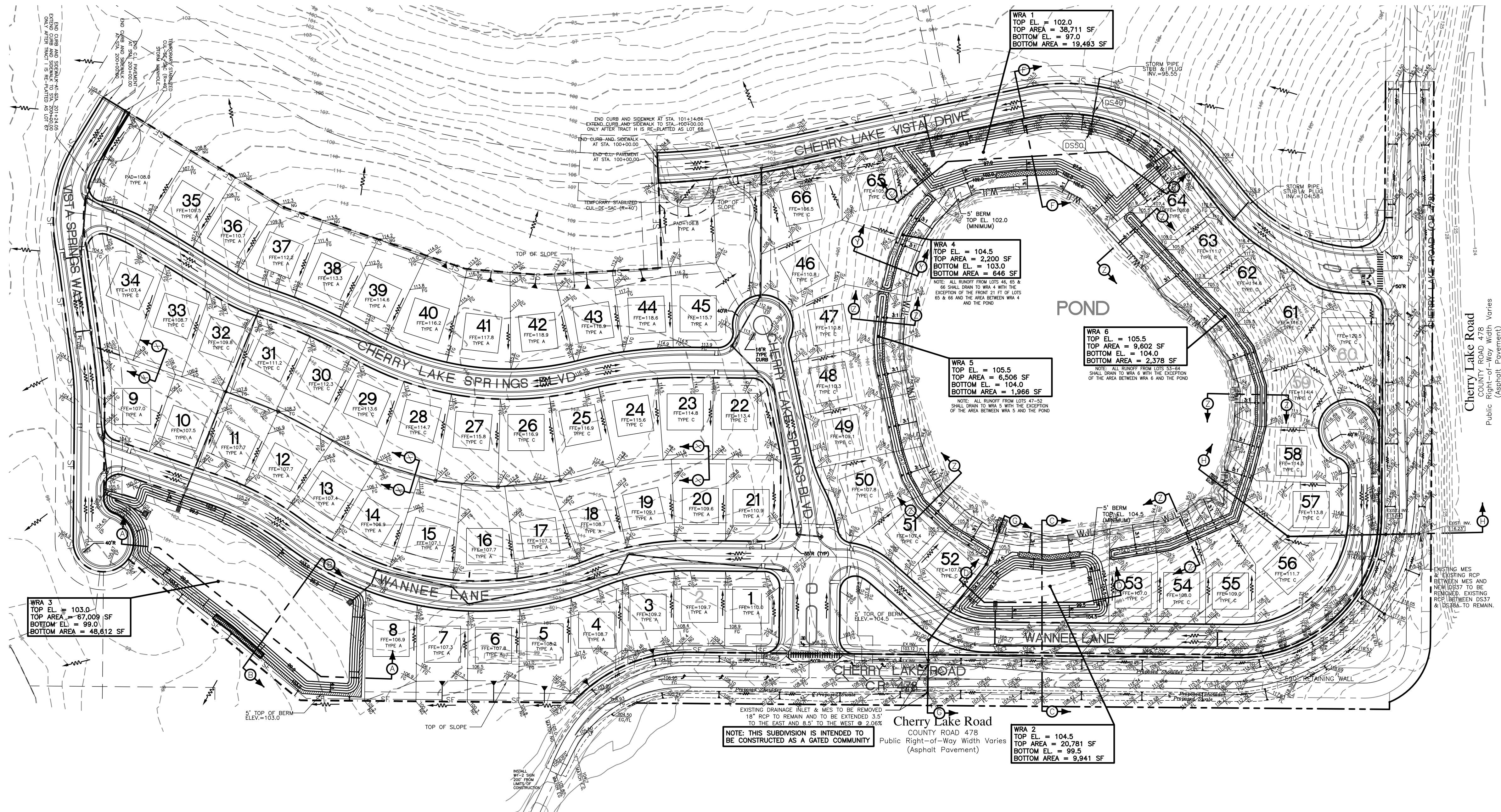
TYPICAL LOT GRADING PLANS

N.T.S.



LEGEND

	PROPERTY LINE
	RIGHT-OF-WAY LINE
	ROADWAY CENTERLINE
	EASEMENT LINE
	EXISTING 5' CONTOUR LINE
	EXISTING 1' CONTOUR LINE
	STORM DRAINAGE PIPE
	SILT FENCE
	DRAINAGE DIVIDE LINE
	WETLANDS JURISDICTION LINE
	SHORELINE
	PROPOSED STEM WALL
	SLOPE INDICATOR
	DRAINAGE FLOW ARROW
	PROPOSED MITERED END SECTION W/ ENERGY DISPATOR
	PROPOSED CURB INLET
	STORM INLET
	100.0 FG FINISHED GRADE SPOT ELEVATION
	100.0 NG NATURAL GROUND SPOT ELEVATION
	100.0 FL FLOW LINE SPOT ELEVATION
	100.00 EP EDGE OF PAVEMENT SPOT ELEVATION
	SODDED OVERFLOW WEIR



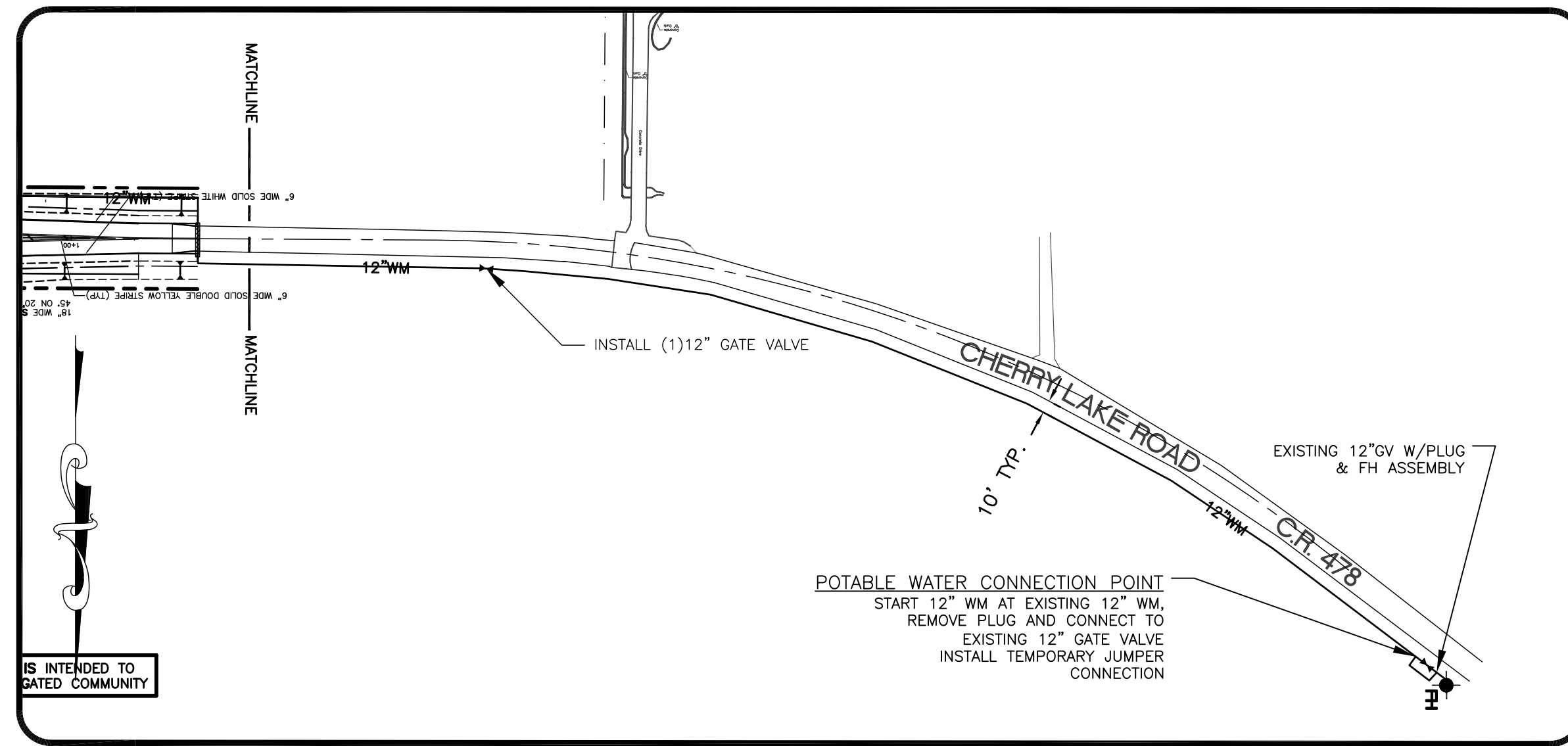
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SPRINGS AT CHERRY LAKE
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DATE: NOVEMBER 2014
 DRAWN BY: TLK
 APPROVED BY: TLK
 SCALE: 1" = 100'
 REVISIONS:
 02/15 REVISED PER TLK/PEPA
 05/15 REVISED PER CITY RA

PROJECT NO. K06-11
 GRADING PLAN
 SHEET: 6 OF 12

THOMAS L. KNIGHT
 #47614

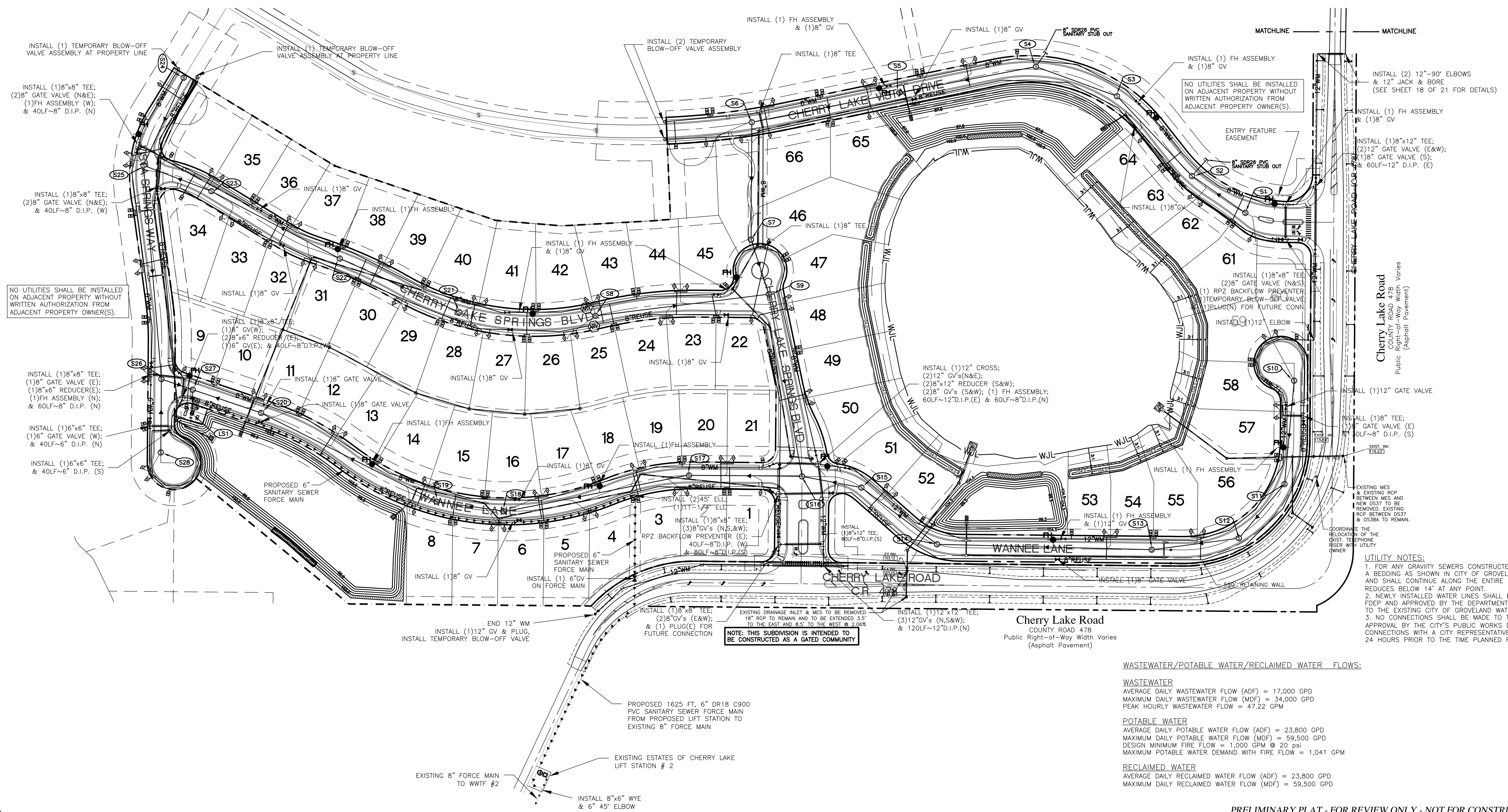
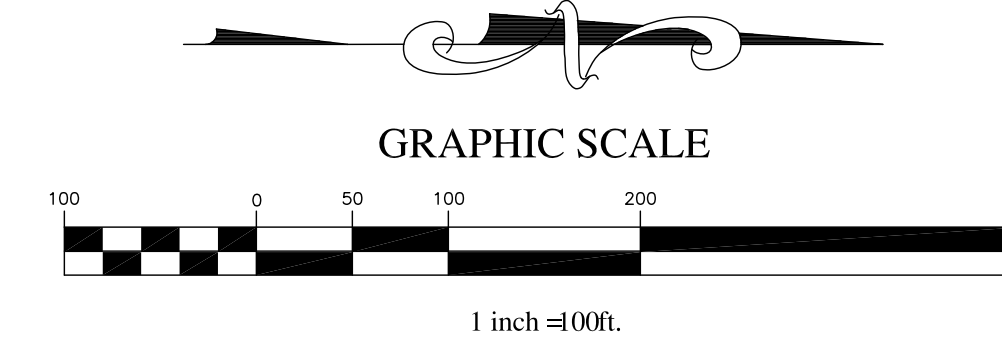


OFFSITE WATER MAIN

SCALE: 1" = 100'

LEGEND

	PROPERTY LINE		AIR RELEASE VALVE
	RIGHT-OF-WAY LINE		FIRE HYDRANT ASSEMBLY
	ROADWAY CENTERLINE		PROPOSED SANITARY MANHOLE
	PROPOSED LOT LINE		PROPOSED SINGLE REUSE SERVICE
	EASEMENT LINE		PROPOSED SINGLE WATER SERVICE
	PROPOSED STORM SEWER		PROPOSED SINGLE SANITARY SERVICE
	SHORELINE		PROPOSED DOUBLE SANITARY SERVICE
	WETLAND JURISDICTIONAL LINE		PROPOSED DOUBLE WATER SERVICE
	PROPOSED 8" SANITARY GRAVITY MAIN		PROPOSED DOUBLE REUSE SERVICE
	PROPOSED 6" SANITARY FORCE MAIN		PROPOSED DOUBLE WATER SERVICE
	PROPOSED 8" REUSE WATER MAIN		REDUCED PRESSURE ZONE BACKFLOW PREVENTER
	PROPOSED 8" POTABLE WATER MAIN		



NOTE: THIS SUBDIVISION IS INTENDED TO BE CONSTRUCTED AS A GATED COMMUNITY

WASTEWATER/POTABLE WATER/RECLAIMED WATER FLOWS:

WASTEWATER
AVERAGE DAILY WASTEWATER FLOW (ADF) = 17,000 GPD
MAXIMUM DAILY WASTEWATER FLOW (MDF) = 34,000 GPD
PEAK HOURLY WASTEWATER FLOW = 47.22 GPM
POTABLE WATER
AVERAGE DAILY POTABLE WATER FLOW (ADF) = 23,800 GPD
MAXIMUM DAILY POTABLE WATER FLOW (MDF) = 59,500 GPD
DESIGN MINIMUM FIRE FLOW = 1,000 GPM @ 20 psi
MAXIMUM POTABLE WATER DEMAND WITH FIRE FLOW = 1,041 GPM
RECLAIMED WATER
AVERAGE DAILY RECLAIMED WATER FLOW (ADF) = 23,800 GPD
MAXIMUM DAILY RECLAIMED WATER FLOW (MDF) = 59,500 GPD

- UTILITY NOTES:**
- FOR ANY GRAVITY SEWERS CONSTRUCTED TO A DEPTH OF 14' OR GREATER, TYPE A BEDDING AS SHOWN IN CITY OF GROVELAND STANDARD DETAILS SHALL BE USED AND SHALL CONTINUE ALONG THE ENTIRE RUN BETWEEN MANHOLES IF DEPTH REDUCES BELOW 14' AT ANY POINT.
 - NEWLY INSTALLED WATER LINES SHALL BE TESTED, DISINFECTED, AND CLEARED BY FDEP AND APPROVED BY THE DEPARTMENT OF PUBLIC WORKS PRIOR TO CONNECTING TO THE EXISTING CITY OF GROVELAND WATER MAIN.
 - NO CONNECTIONS SHALL BE MADE TO THE EXISTING CITY UTILITIES WITHOUT PRIOR APPROVAL BY THE CITY'S PUBLIC WORKS DIRECTOR. COORDINATE AND SCHEDULE CONNECTIONS WITH A CITY REPRESENTATIVE WELL IN ADVANCE, AND NO LESS THAN 24 HOURS PRIOR TO THE TIME PLANNED FOR MAKING THE CONNECTIONS.

THOMAS L. KNIGHT, P.E.
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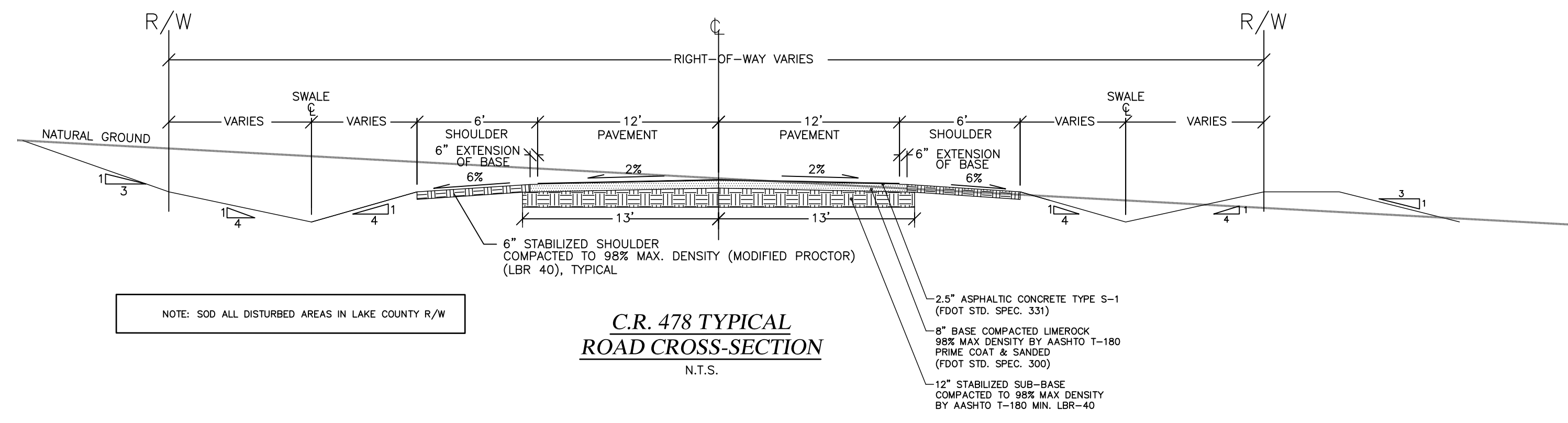
SPRINGS AT CHERRY LAKE
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DATE:	NOVEMBER 2014
DRAWN BY:	TLK
APPROVED BY:	TLK
SCALE:	1" = 100'
REVISIONS:	05/15 REVISION PER CITY RA

PROJECT NO.	K06-11
UTILITY PLAN	
SHEET: 7 OF 12	

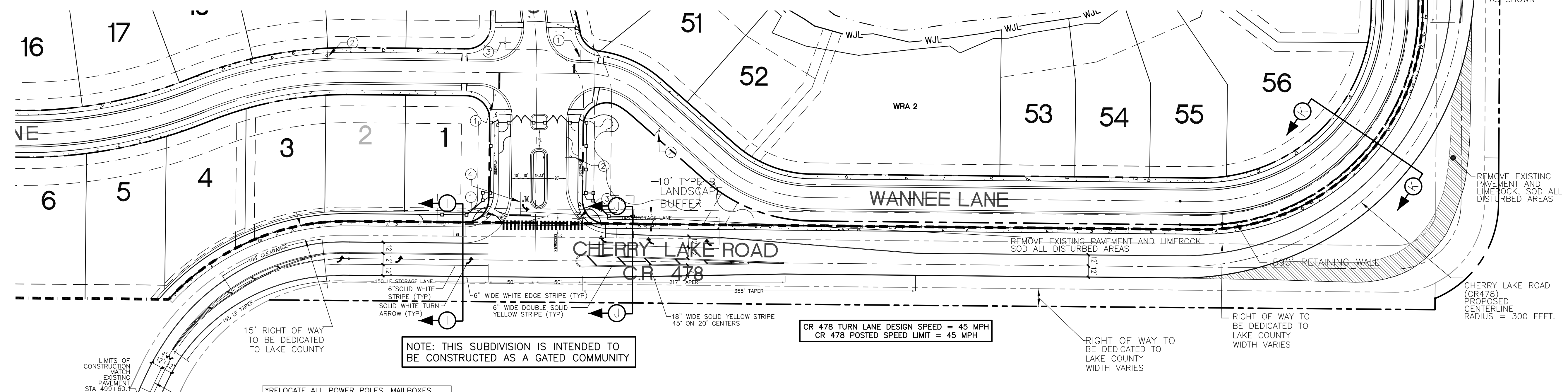
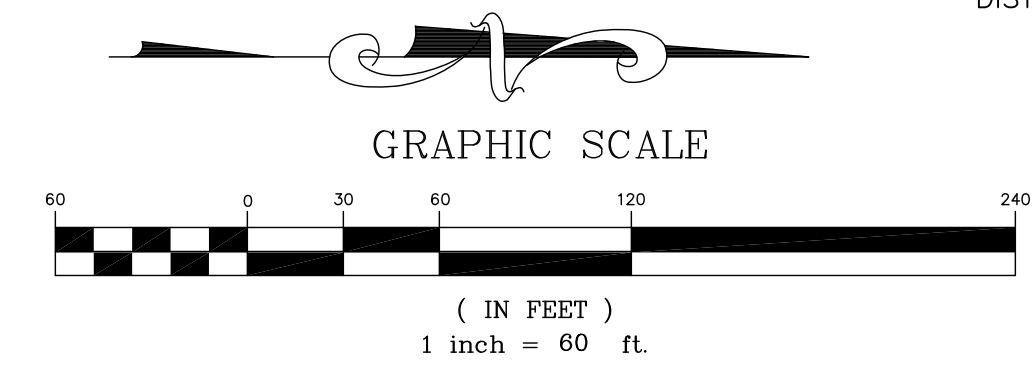
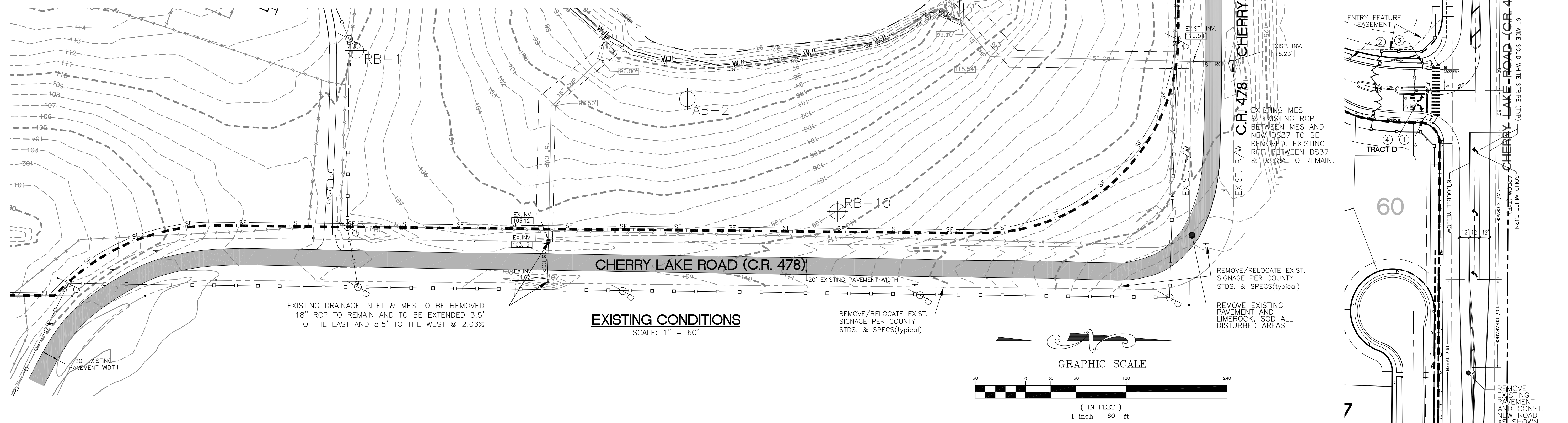
THOMAS L. KNIGHT
#47614

PRELIMINARY PLAT - FOR REVIEW ONLY - NOT FOR CONSTRUCTION



LEGEND

	PROPERTY LINE		SLOPE INDICATOR
	RIGHT-OF-WAY LINE		DRAINAGE FLOW ARROW
	ROADWAY CENTERLINE		PROPOSED MITERED END SECTION
	BUILDING SETBACK LINE		PROPOSED CURB INLET
	EASEMENT LINE		STORM INLET
	EXISTING 5' CONTOUR LINE		STOP SIGN WITH 24" THERMOPLASTIC STOP BAR
	EXISTING 1' CONTOUR LINE		25 MPH SIGN
	STORM DRAINAGE PIPE		STREET NAME SIGN
	SILT FENCE		25LF-6" WHITE SOLID STRIP
	DRAINAGE DIVIDE LINE		
	WETLANDS JURISDICTION LINE		
	SHORELINE		
	PROPOSED STEM WALL		
	SODDED OVERFLOW WEIR		



CR 478 GEOMETRY, SIGNAGE AND PAVEMENT MARKINGS
SCALE: 1" = 60'

PRELIMINARY PLAT - FOR REVIEW ONLY - NOT FOR CONSTRUCTION

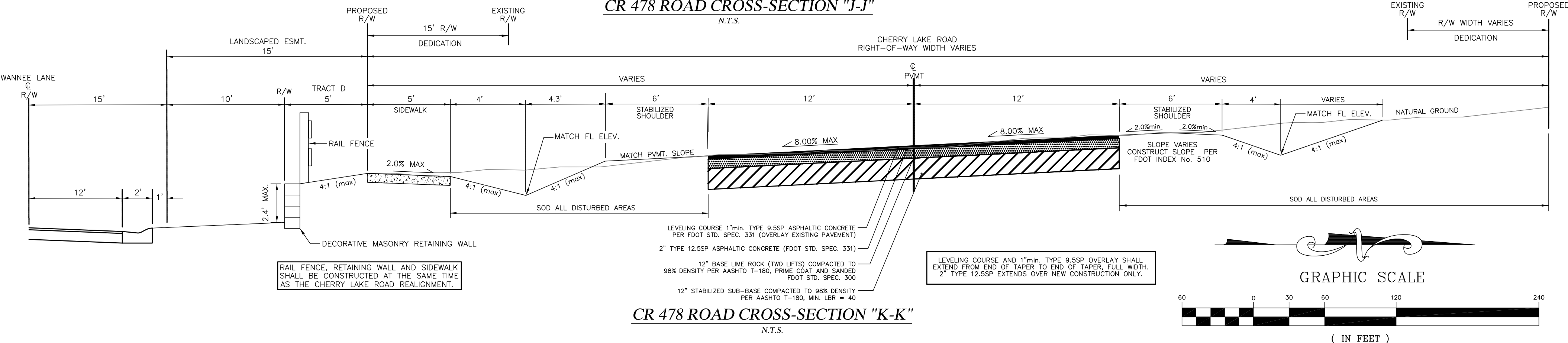
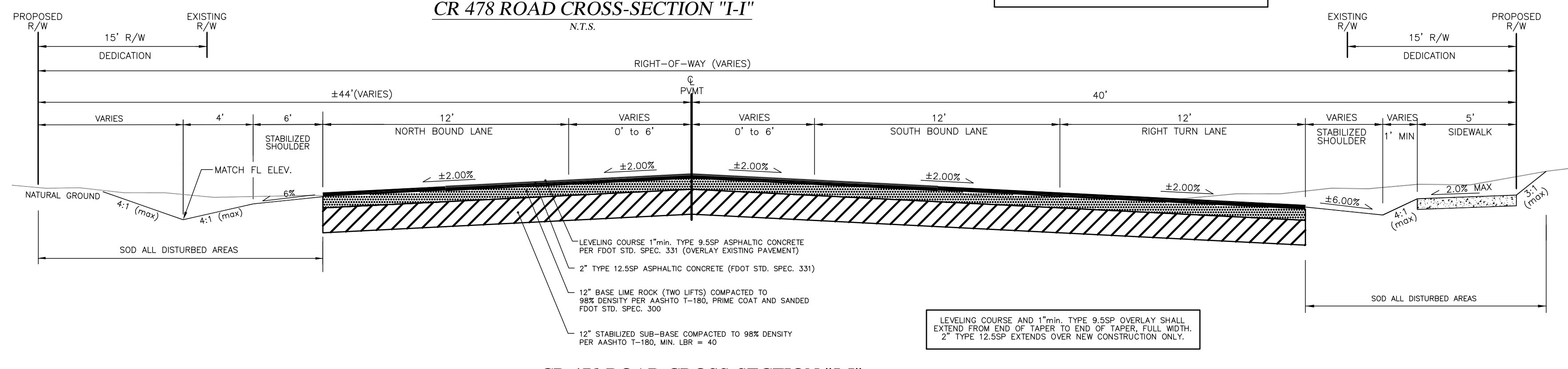
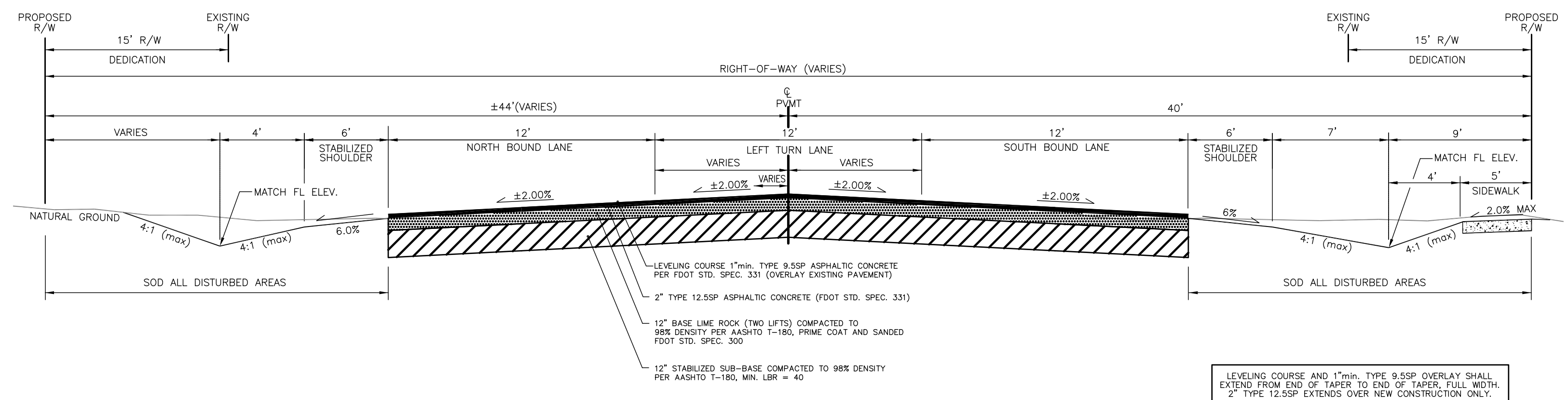
THOMAS L. KNIGHT, P.E.
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 1135 EAST AVENUE, CLERMONT, FL 34711
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SPRINGS AT CHERRY LAKE
 SECTION 3: TOWNSHIP 22S; RANGE 25E; CITY OF GROVELAND, FLORIDA
 OWNER/DEVELOPER: L&D LLC, ET AL
 ADDRESS: P.O. BOX 97, BELL, FL 32619 PHONE: (352) 463-2942

DATE: NOVEMBER 2014
DRAWN BY: TLK
APPROVED BY: TLK
SCALE: NOTED
REVISIONS:

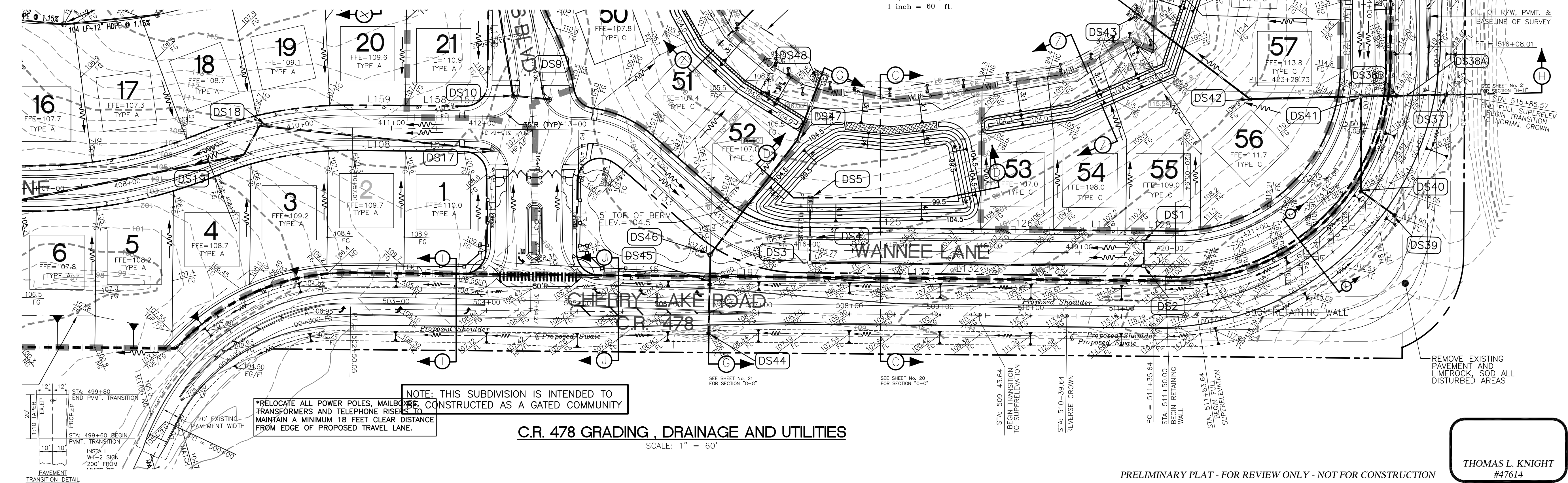
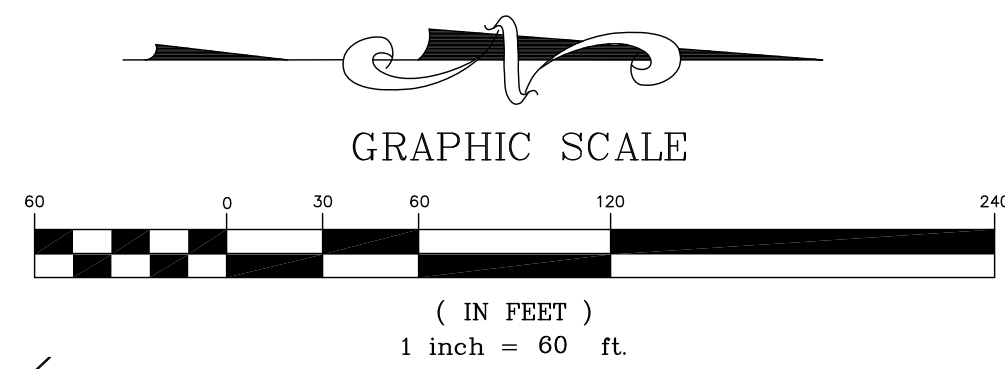
PROJECT NO.
K06-11
 C.R. 478
 ROADWAY
 IMPROVEMENTS
 1
 SHEET: 8 OF 12

THOMAS L. KNIGHT
#47614



LEGEND

---	PROPERTY LINE	--->	DRAINAGE FLOW ARROW
---	RIGHT-OF-WAY LINE	▭	PROPOSED MITERED END SECTION W/ ENERGY DISSIPATOR
---	ROADWAY CENTERLINE	▭	PROPOSED CURB INLET
---	EASEMENT LINE	▭	STORM INLET
---	EXISTING 5' CONTOUR LINE	▭	100.0 FG FINISHED GRADE SPOT ELEVATION
---	EXISTING 1' CONTOUR LINE	▭	100.0 NG NATURAL GROUND SPOT ELEVATION
---	STORM DRAINAGE PIPE	▭	100.0 FL FLOW LINE SPOT ELEVATION
---	SILT FENCE	▭	100.0 EP EDGE OF PAVEMENT SPOT ELEVATION
---	DRAINAGE DIVIDE LINE	---	
---	WETLANDS JURISDICTION LINE	---	
---	SHORELINE	---	
---	PROPOSED STEM WALL	---	
---	SODDED OVERFLOW WEIR	---	
---	SLOPE INDICATOR	---	



PRELIMINARY PLAN - FOR REVIEW ONLY - NOT FOR CONSTRUCTION

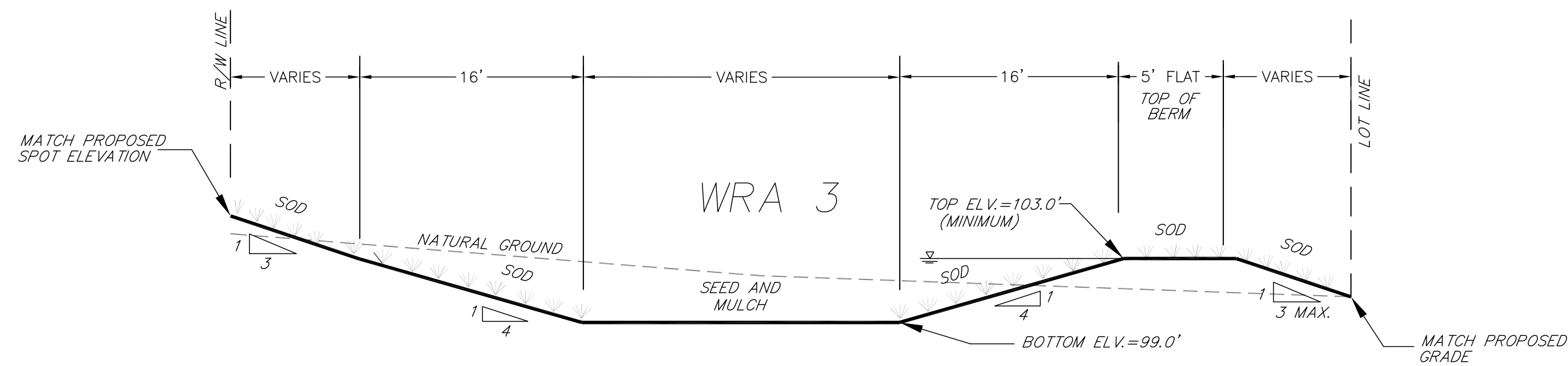
THOMAS L. KNIGHT
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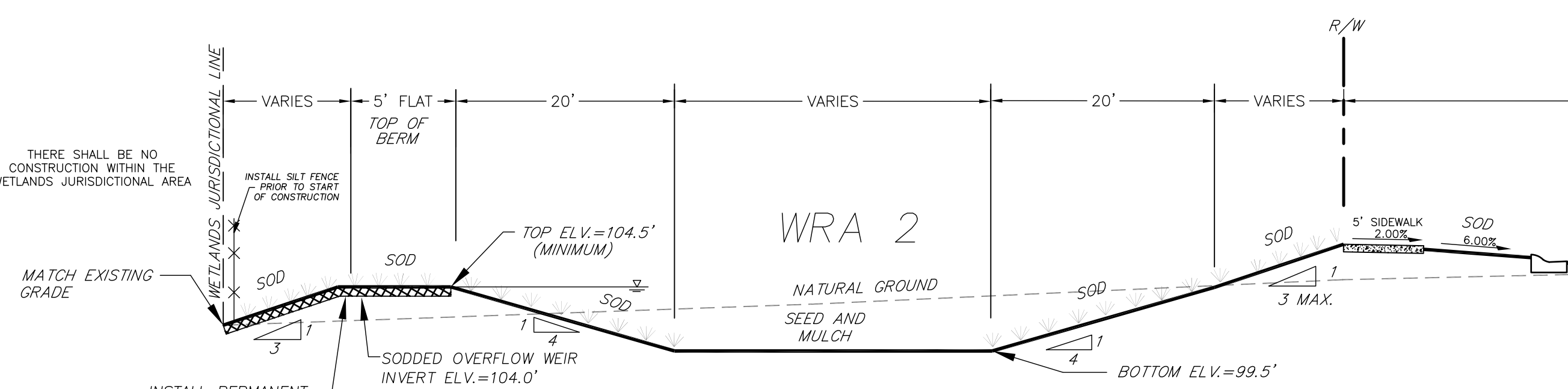
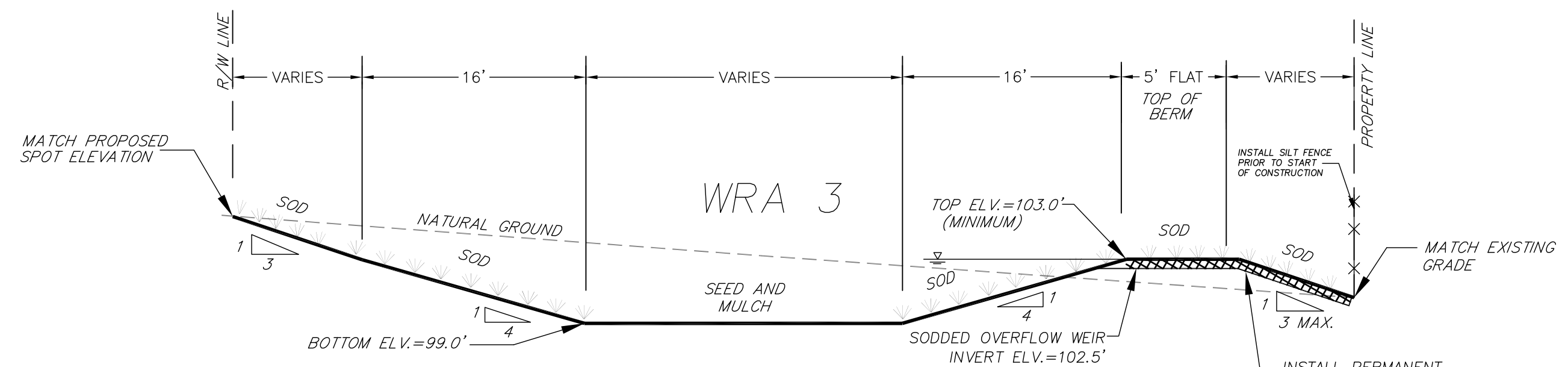
SPRINGS AT CHERRY LAKE
SECTION 3: TOWNSHIP 22S; RANGE 25E; CITY OF GROVELAND, FLORIDA
OWNER/DEVELOPER: L&D LLC, ET AL
ADDRESS: P.O. BOX 97, BELL, FL 32619 PHONE: (352) 463-2942

DATE: NOVEMBER 2014
DRAWN BY: TLK
APPROVED BY: TLK
SCALE: NOTED
REVISIONS:

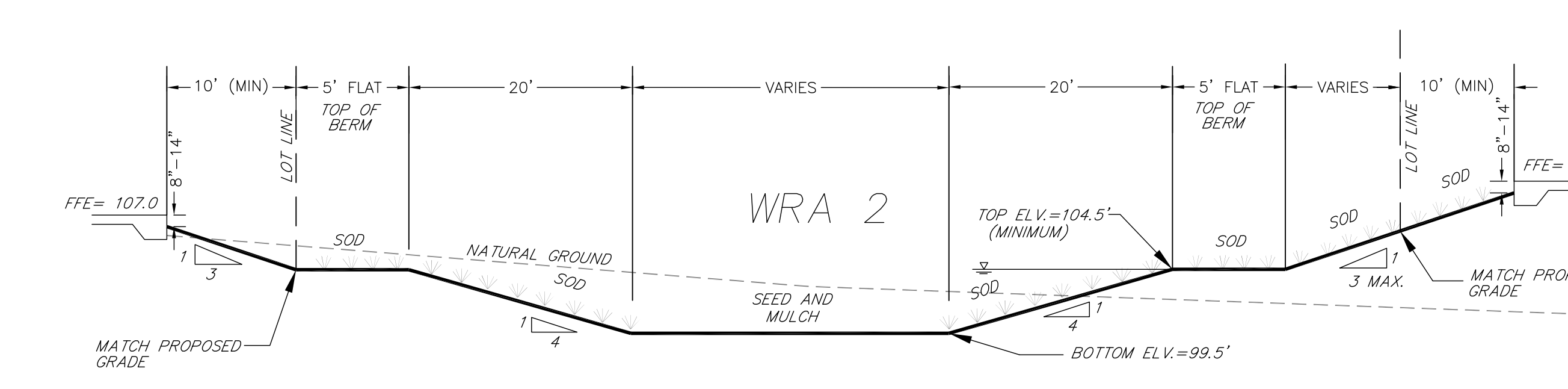
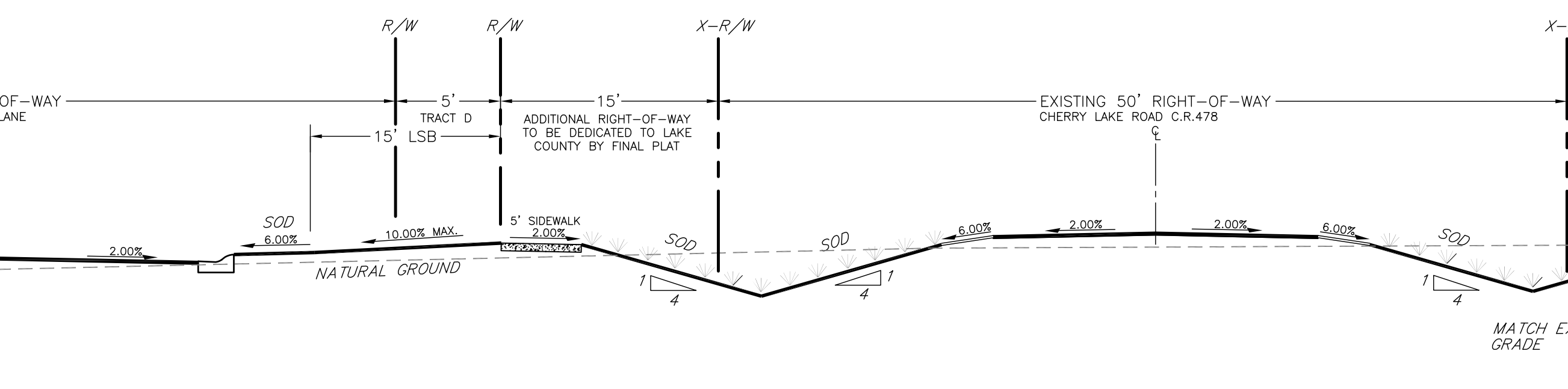
PROJECT NO. K06-11
C.R. 478 ROADWAY IMPROVEMENTS 2
SHEET: 9 OF 12



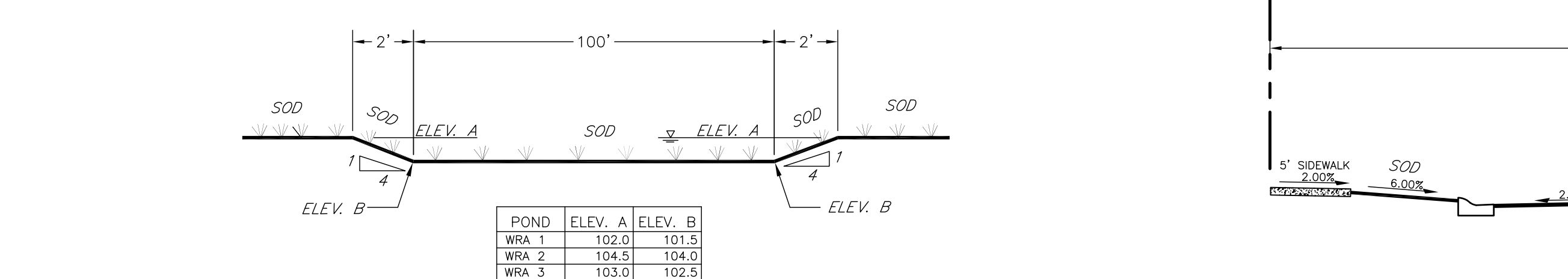
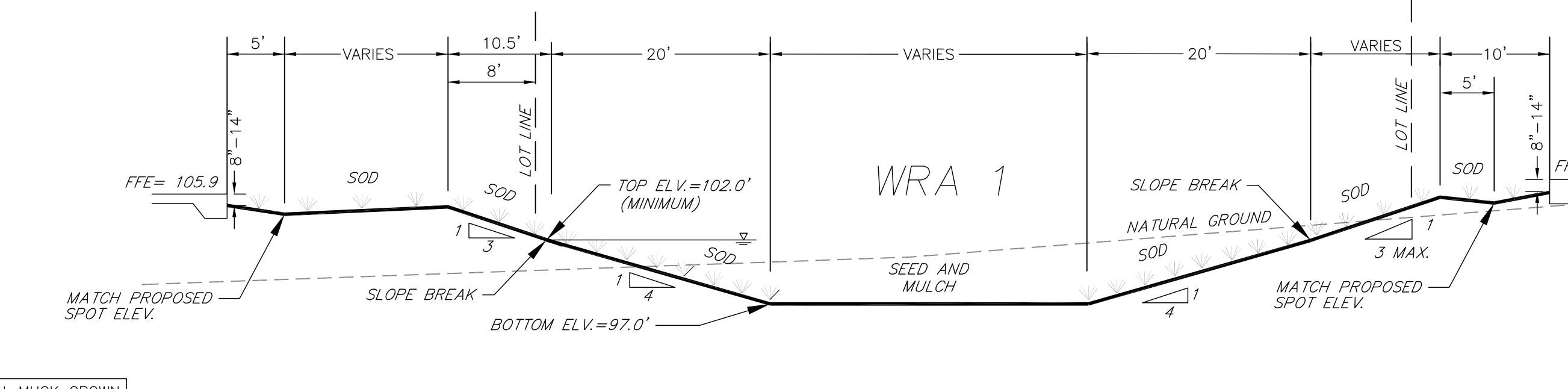
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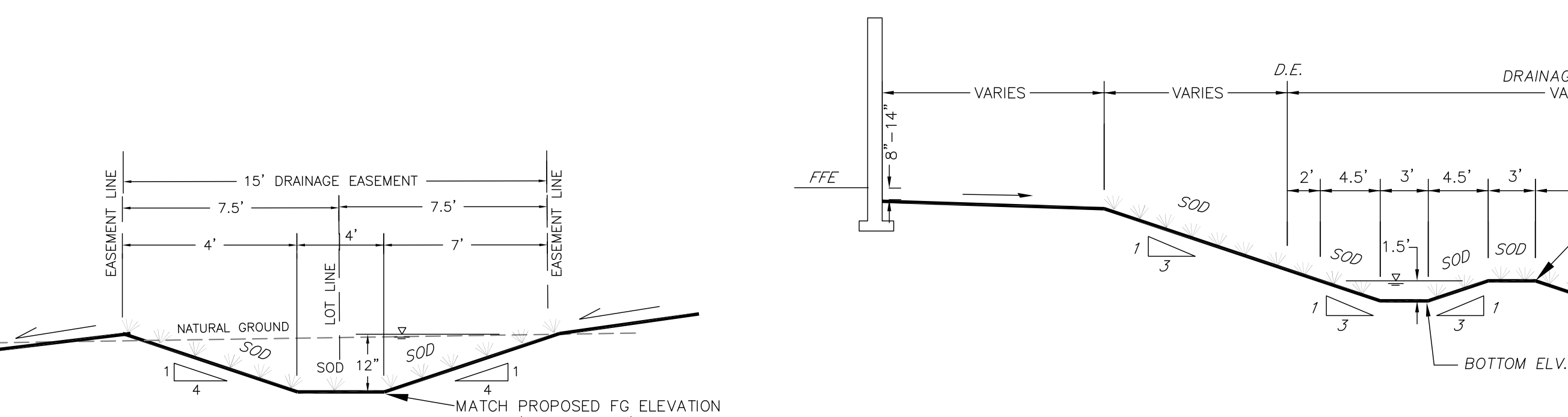
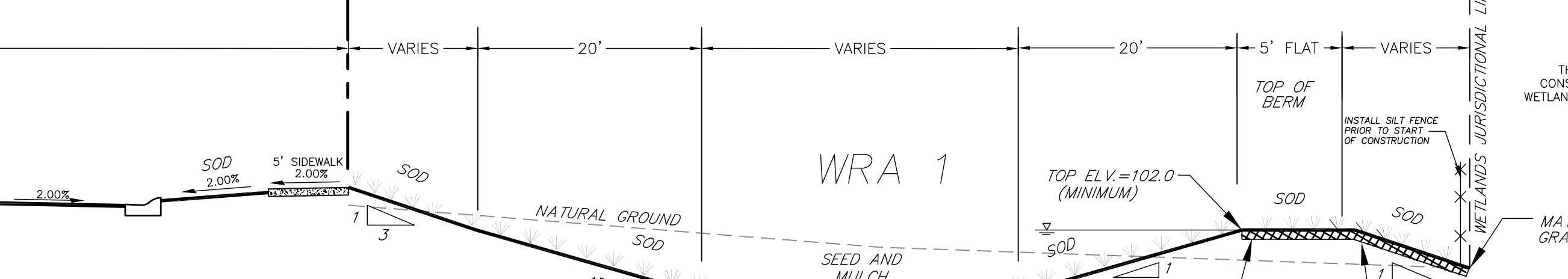
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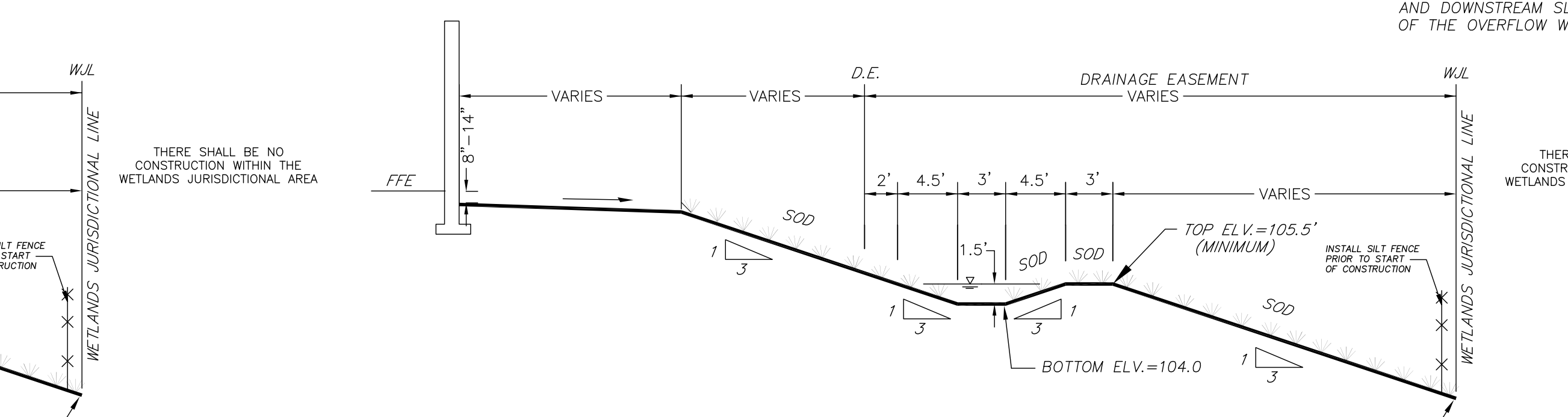
ALL SOD TO BE NON-MUCK GROWN



ALL SOD TO BE NON-MUCK GROWN



ALL SOD TO BE NON-MUCK GROWN



ALL SOD TO BE NON-MUCK GROWN

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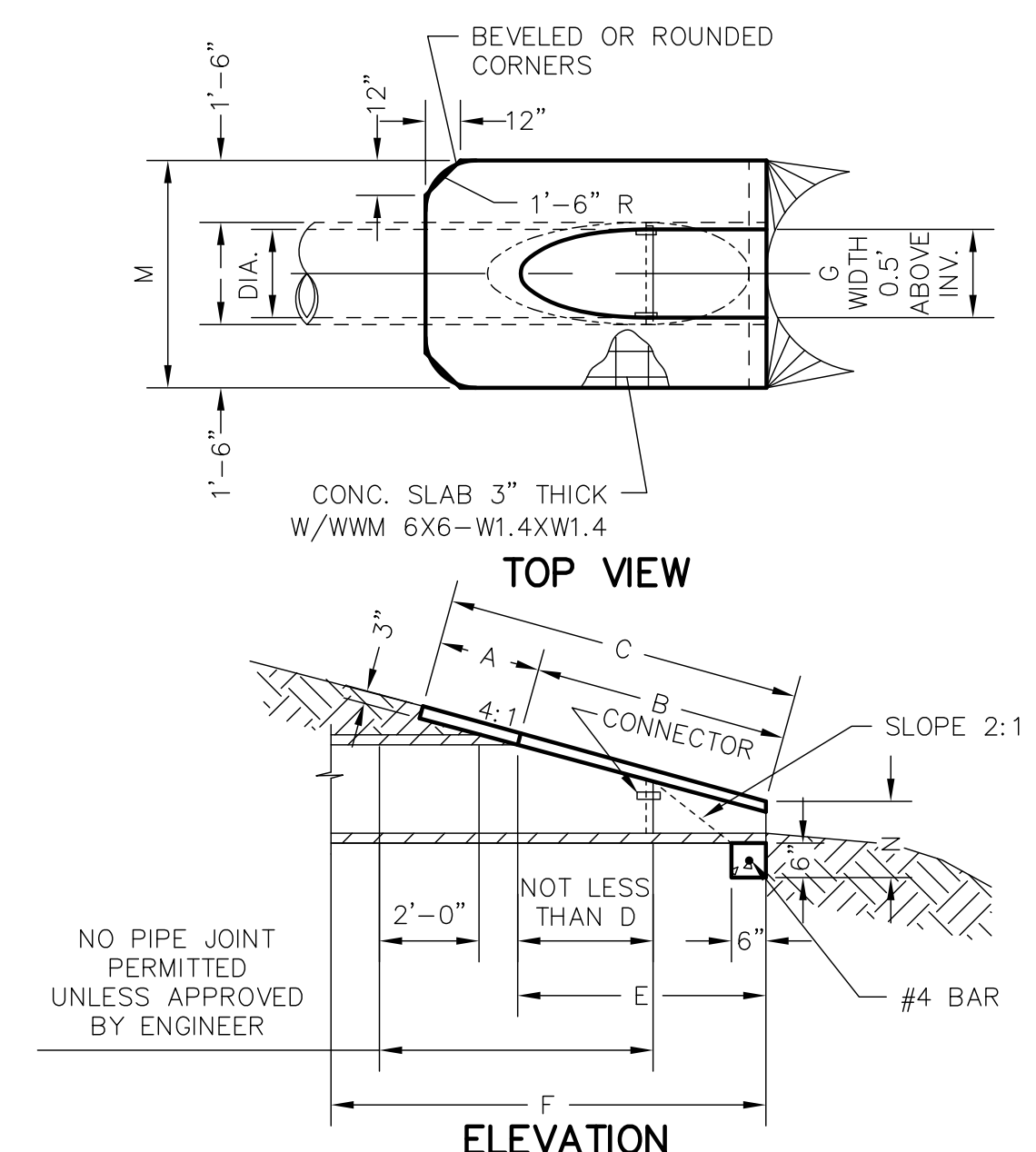
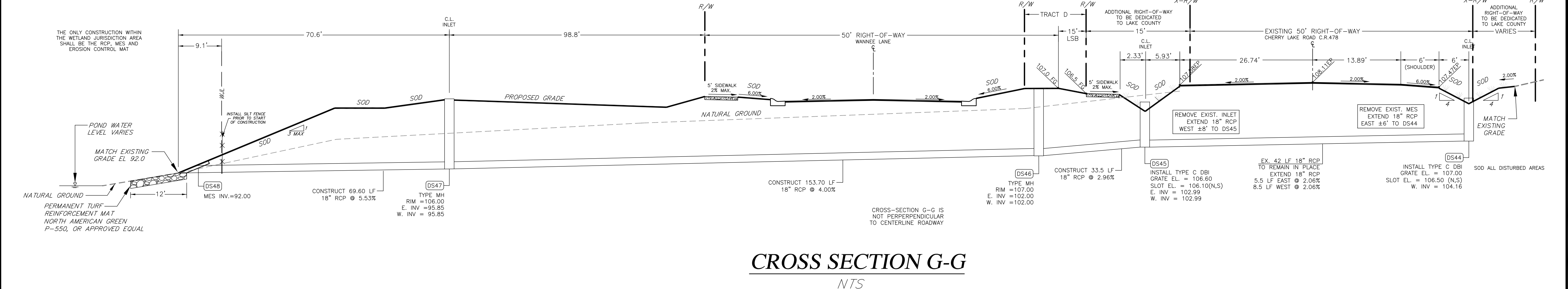
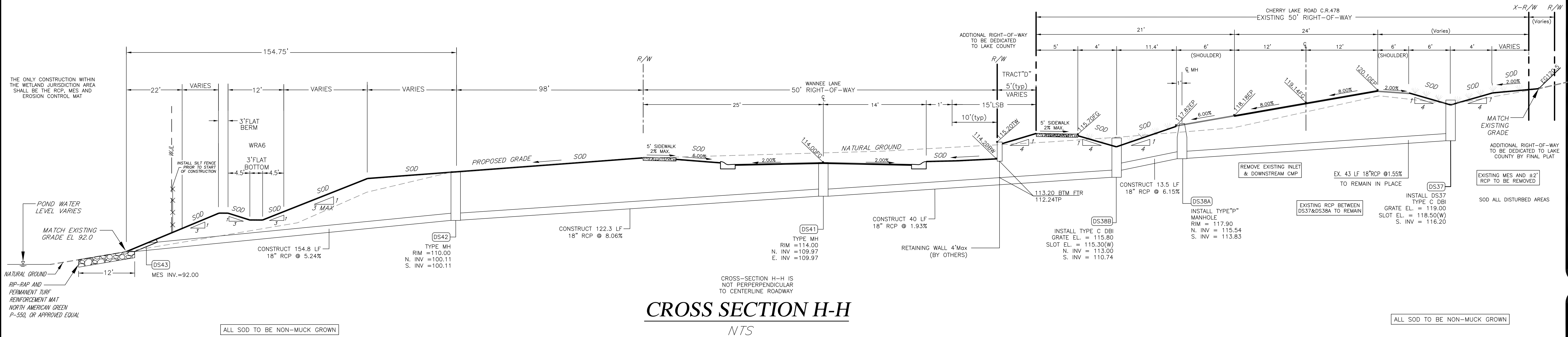
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DATE: NOVEMBER 2014
DRAWN BY: TLK
APPROVED BY: TLK
SCALE: NONE
REVISIONS: 06/15 REVISED PER CITY RAI

PROJECT NO. K06-11
TYPICAL CROSS-SECTIONS
SHEET: 10 OF 12

PRELIMINARY PLAT - FOR REVIEW ONLY - NOT FOR CONSTRUCTION

THOMAS L. KNIGHT
#47614



REF. F.D.O.T. INDEX No. 272, INCLUDING VARIATIONS FOR MULTIPLE PIPES & ELLIPTICAL PIPES.

DIA.	A	B	C	E	F	G	M	N
18"	1.97'	2.74'	4.71'	2.56'	6.00'	1.41'	4.92'	1.21'
24"	2.06'	3.85'	5.91'	3.56'	7.00'	1.73'	5.50'	1.25'
30"	2.15'	4.95'	7.10'	4.56'	8.00'	2.00'	6.08'	1.29'
36"	2.25'	6.08'	8.33'	5.56'	9.00'	2.24'	6.67'	1.33'
42"	2.34'	7.21'	9.55'	6.56'	10.00'	2.45'	7.25'	1.38'

THOMAS L. KNIGHT, P.E.
 PROFESSIONAL ASSOCIATION
 Planning, Design, Permitting, Inspection
 1135 EAST AVENUE, CLERMONT, FL 34711
 PHONE: (352) 394-8514 FAX: (352) 394-8541
 Certificate of Authorization No. 00029972

SPRINGS AT CHERRY LAKE
 SECTION 3; TOWNSHIP 22S; RANGE 25E, CITY OF GROVELAND, FLORIDA
 OWNER/DEVELOPER: L&D LLC, ET AL
 ADDRESS: P.O. BOX 97, BELL, FL 32619 PHONE: (352) 463-2942

DATE: NOVEMBER 2014
 DRAWN BY: TLK
 APPROVED BY: TLK
 SCALE: NONE
 REVISIONS:
 06/15 REVISED PER CITY RAI

PROJECT NO. K06-11
 TYPICAL CROSS-SECTIONS
 SHEET: 11 OF 12

THOMAS L. KNIGHT
 #47614

GENERAL PROJECT DATA

PRIOR TO THE COMMENCEMENT OF ANY WORK, A PRECONSTRUCTION MEETING WITH THE CITY OF GROVELAND IS REQUIRED. THE CITY OF GROVELAND SHALL BE NOTIFIED PRIOR TO COMMENCEMENT OF MAJOR PHASES OF CONSTRUCTION.

THE LOCATIONS OF ALL EXISTING UTILITIES SHOWN ON THE PLANS HAVE BEEN DETERMINED FROM THE BEST INFORMATION AVAILABLE AND ARE GIVEN FOR THE CONVENIENCE OF THE CONTRACTOR. THE ENGINEER ASSUMES NO RESPONSIBILITY FOR THEIR ACCURACY. PRIOR TO THE START OF ANY CONSTRUCTION ACTIVITY, IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY THE UTILITY COMPANIES AND TO MAKE THE NECESSARY ARRANGEMENTS FOR ANY RELOCATIONS TO THESE UTILITIES WITH THE OWNER OF THE UTILITY. THE CONTRACTOR SHALL EXERCISE CAUTION WHEN CROSSING AN UNDERGROUND OR OVERHEAD UTILITY, WHETHER SHOWN ON THE PLAN OR LOCATED BY THE UTILITY COMPANY. ALL UTILITIES THAT INTERFERE WITH THE PROPOSED CONSTRUCTION SHALL BE RELOCATED BY THE RESPECTIVE UTILITY COMPANY AND THE CONTRACTOR SHALL COOPERATE WITH THEM DURING RELOCATION OPERATIONS. ANY DELAY OR INCONVENIENCE CAUSED TO THE CONTRACTOR BY THE RELOCATION OF VARIOUS UTILITIES SHALL BE INCIDENTAL TO THE CONTRACT AND NO EXTRA COMPENSATION WILL BE ALLOWED.

THE UTILITIES ARE THE PROPERTY OF THE FOLLOWING:

WATER CITY OF GROVELAND 156 S. LAKE AVENUE GROVELAND, FL 34736 (352) 429-0227	POWER DUKE ENERGY 3250 BONNET CREEK ROAD CLEMONT, FL 34711 (800) 700-8744	GAS LAKE APOKA NATURAL GAS DISTRICT 676 W. MONROE STREET CLEMONT, FL 34711 (352) 394-3480
SEWER CITY OF GROVELAND 156 S. LAKE AVENUE GROVELAND, FL 34736 (352) 429-2141	POWER SUMMIT ELECTRIC 233 S.W. HUBBARD 301 SUMMITVILLE, FL 33585 (504) 357-5600	TELEPHONE EMBARQ 260 CIRCUS TOWER BLVD. CLEMONT, FL 34711 (800) 672-6242
TRUCK CITY OF GROVELAND 156 S. LAKE AVENUE GROVELAND, FL 34736 (352) 429-0227	CABLE COMCAST 8130 CR-44 LEG A LESSBORO, FL 34788 (352) 877-9986	TELEPHONE ATTN: 1-800-222-3000

CITY OF GROVELAND STANDARDS AND SPECIFICATIONS

ALL CONSTRUCTION SHALL COMPLY WITH THE CITY OF GROVELAND CODE OF ORDINANCES, THE CITY OF GROVELAND MANUAL OF STANDARDS FOR THE DESIGN, CONSTRUCTION AND MAINTENANCE OF WATER, WASTEWATER, RECLAIMED WATER, STREETS AND DRAINAGE SYSTEMS, LATEST EDITION, AND THE CITY OF GROVELAND STANDARD DETAILS. THESE DOCUMENTS CAN BE OBTAINED FROM THE CITY OF GROVELAND.

SHOP DRAWINGS

SHOP DRAWINGS AND CERTIFICATIONS FOR ALL STORM DRAINAGE, WATER SYSTEM, SEWER SYSTEM, AND PAVING SYSTEM MATERIALS AND STRUCTURES ARE REQUIRED. THE CONTRACTOR SHALL SUBMIT SHOP DRAWINGS TO THE ENGINEER FOR APPROVAL PRIOR TO ORDERING THE MATERIALS REQUIRED FOR CONSTRUCTION.

ASBUILTS

A COMPLETE AS-BUILT SURVEY SHALL BE PROVIDED TO THE ENGINEER BY THE SITE CONTRACTOR NO LESS THAN 2 WEEKS PRIOR TO FINAL INSPECTION. ALL AS-BUILT SURVEYS SHALL BE PREPARED BY A FLORIDA LICENSED LAND SURVEYOR. TWO (2) SIGNED, SEALED AND DATED HARD COPIES AND ONE (1) ELECTRONIC COPY (DWG FORMAT) SHALL BE PROVIDED TO THE ENGINEER. ADDITIONAL AS-BUILT REQUIREMENTS AS REQUIRED BY THE CITY OF GROVELAND OR AS INCLUDED IN THE AFOREMENTIONED DOCUMENTS.

PERMITS AND PERMIT REQUIREMENTS

THE CONTRACTOR SHALL OBTAIN FROM THE OWNER COPIES OF ALL REGULATORY AND LOCAL AGENCY PERMITS. THE CONTRACTOR SHALL BE EXPECTED TO REVIEW AND ABIDE BY ALL THE REQUIREMENTS AND LIMITATIONS SET FORTH IN THE PERMITS; A COPY OF THE APPLICABLE PERMITS SHALL BE KEPT ON THE JOB AT ALL TIMES.

LAYOUT AND CONTROL

UNLESS OTHERWISE NOTED ON THE PLANS, THE CONTRACTOR SHALL PROVIDE FOR THE LAYOUT OF ALL THE WORK TO BE CONSTRUCTED. BENCHMARK INFORMATION SHALL BE PROVIDED TO THE CONTRACTOR BY THE OWNER OR OWNER'S SURVEYOR. ANY DISCREPANCIES BETWEEN FIELD MEASUREMENTS AND CONSTRUCTION PLAN INFORMATION SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER IMMEDIATELY.

DRAINAGE SYSTEMS

THE CONTRACTOR SHALL PERFORM ALL WORK PERTAINING TO DRAINAGE INCLUDING EXCAVATION OF W.R.A. PRIOR TO THE COMMENCEMENT OF OTHER WORK INCLUDED IN THESE PLANS. THE DRAINAGE FACILITIES SHALL BE MAINTAINED BY THE CONTRACTOR DURING THE COURSE OF THIS CONTRACT. THE CONTRACTOR SHALL INCLUDE FUNDS IN THE DRAINAGE COSTS OF THE CONTRACT TO OPERATE AND MAINTAIN THE DRAINAGE SYSTEMS DURING THE WORK PROCESS.

QUALITY CONTROL TESTING REQUIREMENTS

ALL TESTING RESULTS SHALL BE PROVIDED TO THE ENGINEER. ALL TESTING REQUIREMENTS SHALL BE IN ACCORDANCE WITH THE REQUIREMENTS OF THE CITY OF GROVELAND. TEST RESULTS SHALL INCLUDE, BUT NOT BE LIMITED TO THE FOLLOWING:

- SOIL DENSITY TESTS
- CONCRETE COMPRESSIVE STRENGTH TEST
- LAMPING AND TV INSPECTIONS
- INFILTRATION/FILTRATION TESTS; AIR TESTS
- PRESSURE TESTS
- BACTERIOLOGICAL TESTS
- FIRE FLOW TESTS
- LIFT STATION START-UP REPORT
- OTHERS AS MAY BE REQUIRED BY PERMIT OR THE ENGINEER

EARTHWORK

EARTHWORK QUANTITIES

THE CONTRACTOR SHALL PERFORM HIS OWN INVESTIGATIONS AND CALCULATIONS AS NECESSARY TO ASSURE HIMSELF OF EARTHWORK QUANTITIES. THERE IS NO IMPLICATION THAT EARTHWORK BALANCES BY PHASE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY IMPORT FILL NEEDED, OR FOR REMOVAL AND DISPOSAL OF EXCESS MATERIALS.

EROSION CONTROL

EROSION AND SILTATION CONTROL MEASURES ARE TO BE PROVIDED AND INSTALLED PRIOR TO COMMENCEMENT OF CONSTRUCTION. THESE MEASURES ARE TO BE INSPECTED BY THE CONTRACTOR ON A REGULAR BASIS AND ARE TO BE MAINTAINED OR REPAIRED ON AN IMMEDIATE BASIS. REFER TO WATER MANAGEMENT DISTRICT PERMIT FOR ADDITIONAL REQUIREMENTS FOR EROSION CONTROL AND SURFACE DRAINAGE. ALL AREAS DISTURBED DURING CONSTRUCTION SHALL BE STABILIZED WITHIN 30 DAYS OF COMPLETION OF CONSTRUCTION. OTHER MATERIALS SHALL BE REVIEW AND APPROVED BY CITY.

WETLAND PROTECTION

THE LIMITS OF THE ON-SITE WETLANDS HAVE BEEN PROVIDED TO THE CONTRACTOR ON THE CONSTRUCTION PLANS OR ON PERMIT MATERIALS. THE WETLANDS ARE TO BE PROTECTED FROM DISTURBANCE AT ALL TIMES. CONTRACTOR SHALL PROVIDE EROSION, SILTATION, AND OVERFLOW MEASURES PRIOR TO COMMENCEMENT OF CONSTRUCTION. THE CONTRACTOR SHALL OBTAIN A COPY OF EACH PERMIT RELATING TO WETLANDS AND WATER MANAGEMENT AND ADHERE TO ALL PROVISIONS AND CONDITIONS THEREOF.

LIMITS OF DISTURBANCE

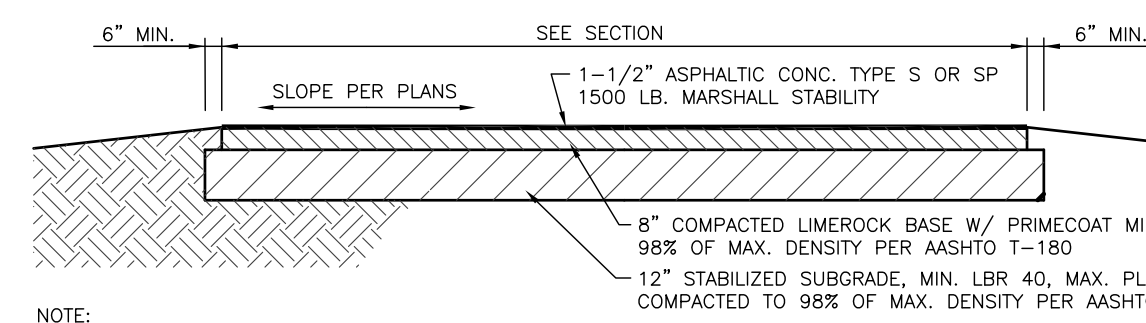
AT NO TIME SHALL THE CONTRACTOR DISTURB SURROUNDING PROPERTIES OR TRAVEL ON SURROUNDING PROPERTIES WITHOUT WRITTEN CONSENT FROM THE PROPERTY OWNER. REPAIR OR RECONSTRUCTION OF DAMAGED AREAS ON SURROUNDING PROPERTIES SHALL BE PERFORMED BY THE CONTRACTOR ON AN IMMEDIATE BASIS. ALL COSTS FOR REPAIRS SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR AND NO EXTRA COMPENSATION SHALL BE PROVIDED. GRADING AND/OR CLEARING ON PROPERTIES OTHER THAN SHOWN ON THE APPROVED PLANS IS PROHIBITED.

TREE REMOVAL

THE CONTRACTOR SHALL NOTIFY THE OWNER AND THE ENGINEER WHEN ALL WORK IS LAID OUT (SURVEY STAKED), SO THAT A DETERMINATION MAY BE MADE OF SPECIFIC TREES TO BE REMOVED. NO TREES ON THE CONSTRUCTION PLANS AS BEING SAVED SHALL BE REMOVED WITHOUT PERMISSION FROM THE OWNER, ENGINEER AND THE CITY OF GROVELAND.

CLEARING AND GRUBBING

THE CONTRACTOR SHALL BE RESPONSIBLE FOR CLEARING AND GRUBBING FOR SITE CONSTRUCTION INCLUDING CLEARING FOR PAVING, UTILITIES, DRAINAGE FACILITIES AND BUILDING CONSTRUCTION. ALL AREAS TO BE CLEARED SHALL BE FIELD STAKED AND REVIEWED BY THE OWNER AND ENGINEER PRIOR TO ANY CONSTRUCTION.



- NOTE:
1. PERFORM LBR AND DENSITY COMPLIANCE TESTING FOR LIMEROCK AND BASE AT A FREQUENCY OF ONE TEST PER 5,000 SF WITH A MINIMUM OF TWO TEST LOCATIONS WHICHEVER IS GREATER.
2. AFTER PLACEMENT AND FIELD COMPACTION, ASPHALT SHALL BE CORED AT A FREQUENCY OF ONE CORE PER 3,000 SF OR A MINIMUM OF TWO CORES PER DAY. CORES SHALL BE TAKEN AT A FREQUENCY OF ONE CORE PER 3,000 SF OR A MINIMUM OF TWO CORES PER DAY. CORES SHALL BE TAKEN AT A FREQUENCY OF ONE CORE PER 3,000 SF OR A MINIMUM OF TWO CORES PER DAY. CORES SHALL BE TAKEN AT A FREQUENCY OF ONE CORE PER 3,000 SF OR A MINIMUM OF TWO CORES PER DAY. CORES SHALL BE TAKEN AT A FREQUENCY OF ONE CORE PER 3,000 SF OR A MINIMUM OF TWO CORES PER DAY.

MINIMUM CITY PAVEMENT SECTION

MATERIAL STORAGE/DEBRIS REMOVAL

1) NO COMBUSTIBLE BUILDING MATERIALS MAY BE ACCUMULATED ON THE SITE AND NO CONSTRUCTION WORK INVOLVING COMBUSTIBLE MATERIALS MAY BEGIN UNTIL INSTALLATION OF ALL REQUIRED WATER MAINS AND FIRE HYDRANTS HAVE BEEN COMPLETED, DEP APPROVAL RECEIVED FOR THE WATER MAINS, AND THE HYDRANTS ARE IN OPERATION. CONSTRUCTION WORK INVOLVING NON-COMBUSTIBLE MATERIALS, SUCH AS CONCRETE, MASONRY AND STEEL MAY BEGIN PRIOR TO THE FIRE HYDRANTS BEING OPERATIONAL.

2) ALL MATERIALS EXCAVATED SHALL REMAIN THE PROPERTY OF THE OWNER AND SHALL BE STOCKPILED ON-SITE LOCATIONS AS SPECIFIED BY THE OWNER. MATERIALS SHALL BE STOCKPILED SEPARATELY AS TO USABLE (NONORGANIC) FILL STOCKPILES AND ORGANIC (MUCK) STOCKPILES IF MUCK IS ENCOUNTERED. CONTRACTOR SHALL BE RESPONSIBLE FOR THE REMOVAL OF ALL UNSUITABLE FILL MATERIALS FROM THE SITE. ALL CLAY ENCOUNTERED SHALL BE EXCAVATED OUT AND REPLACED WITH CLEAN GRANULAR FILL MATERIALS.

FILL MATERIAL

ALL MATERIALS SHALL CONTAIN NO MUCK, STUMPS, ROOTS, BRUSH, VEGETATIVE MATTER, RUBBISH OR OTHER MATERIAL THAT WILL NOT COMPACT INTO A SUITABLE AND ENDURING BACKFILL. FILL SHALL BE CLEAN, NON-ORGANIC, GRANULAR MATERIAL WITH NOT MORE THAN 10% PASSING THE NO. 200 SIEVE.

COMPACTION

FILL MATERIALS PLACED UNDER ROADWAYS SHALL BE COMPACTED TO AT LEAST 98% OF THE MAXIMUM DENSITY AS SPECIFIED IN AASHTO T-180. ALL OTHER FILL AREAS ARE TO BE COMPACTED TO AT LEAST 95% MAXIMUM DENSITY AS SPECIFIED IN AASHTO T-180. FILL MATERIALS SHALL BE PLACED AND COMPACTED IN A MAXIMUM OF 12" LIFTS. THE CONTRACTOR SHALL PROVIDE THE ENGINEER AND OWNER WITH ALL (PASSING AND FAILING) TESTING RESULTS. RESULTS SHALL BE PROVIDED ON A TIMELY AND REGULAR BASIS PRIOR TO CONTRACTOR'S PAY REQUEST SUBMITTAL FOR THE AFFECTED WORK.

PAVEMENT AND/OR ROAD AND RIGHT-OF-WAY WORK

OWNER/OPERATOR
THE MASTER IDEA WILL OPERATE AND MAINTAIN THE ROADWAYS SHOWN ON THESE PLANS. THE CONTRACTOR SHALL BE EXPECTED TO MEET ALL CITY REQUIREMENTS.

GENERAL DESIGN INTENT

ALL PAVING SURFACES IN INTERSECTIONS AND ADJACENT SECTIONS SHALL BE GRADED TO DRAIN POSITIVELY IN THE DIRECTION SHOWN BY THE FLOW ARROWS ON THE PLANS AND TO PROVIDE A SMOOTHLY TRANSITIONED DRIVING SURFACE FOR VEHICLES WITH NO SHARP BREAKS IN GRADE, AND NO UNUSUALLY STEEP OR REVERSE CROSS SLOPES. APPROACHES TO INTERSECTIONS AND ENTRANCE AND EXIT GRADES TO INTERSECTIONS WILL HAVE TO BE STAKED IN THE FIELD AT DIFFERENT GRADES THAN THE CENTERLINE GRADES TO ACCOMPLISH THE PURPOSES OUTLINED. IN ADDITION, THE STANDARD CROWN WILL HAVE TO BE CHANGED IN ORDER TO DRAIN POSITIVELY IN THE AREA OF INTERSECTIONS. IT IS THE CONTRACTOR'S RESPONSIBILITY TO ACCOMPLISH THE ABOVE AND THE ENGINEER SHALL BE CONSULTED SO THAT HE MAY MAKE ANY AND ALL REQUIRED INTERPRETATIONS OF THE PLANS OR GIVE SUPPLEMENTARY INSTRUCTION TO ACCOMPLISH THE INTENT OF THE PLANS.

MATERIALS/CONSTRUCTION SPECIFICATIONS

MATERIALS AND CONSTRUCTION METHODS FOR THE ROADWAY CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE FLORIDA DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION 1991, OR LATEST EDITION.

PAVEMENT SECTION REQUIREMENTS

CONSTRUCTION OF ROADWAYS SHALL BE 12" OF STABILIZED SUBGRADE WITH A LIMEROCK BEARING RATIO OF (LBR) 40 COMPACTED TO THE MODIFIED PROCTOR MAXIMUM DRY DENSITY OF 98% PER AASHTO T-180, 8" OF LIMEROCK BASE COURSE, (LBR) 100, COMPACTED TO THE MODIFIED PROCTOR MAXIMUM DRY DENSITY OF 98% PER AASHTO T-180 AND 1-1/2" OF TYPE S ASPHALTIC CONCRETE SURFACE COURSE WITH A MINIMUM DENSITY OF 98% OF THE LABORATORY DENSITY AS DETERMINED BY THE MARSHALL STABILITY TEST METHOD FOR THE APPROVED JOB MIX FORMULA. SUBGRADE PREPARATION AND PAVEMENT INSTALLATION SHALL CONFORM TO FDOT STANDARDS AND SOILS REPORT RECOMMENDATIONS.

SIDEWALKS

SIDEWALKS ARE TO BE CONSTRUCTED IN THE AREA AS SHOWN ON THE CONSTRUCTION PLANS. THE 5' SIDEWALK SHALL BE CONSTRUCTED OF 4 INCHES OF CONCRETE WITH A 28 DAY COMPRESSION STRENGTH OF 2500 PSI. JOINTS SHALL BE EITHER TOoled OR SAWCUT AT A DISTANCE OF 5' LENGTHS. HANDICAPPED RAMPS SHALL BE PROVIDED AT ALL INTERSECTIONS AND BE IN ACCORDANCE WITH STATE REGULATIONS FOR HANDICAP ACCESSIBILITY.

PAVEMENT MARKINGS/SIGNAGE

PAVEMENT MARKINGS AND SIGNAGE SHALL BE PROVIDED AS SHOWN ON THE CONSTRUCTION PLANS AND SHALL MEET THE REQUIREMENTS OF THE OWNER/OPERATOR. SIGNAGE SHALL BE IN CONFORMANCE WITH MUTCD (LATEST EDITION). A 48-HOUR PAVEMENT CURING TIME WILL BE PROVIDED PRIOR TO APPLICATION OF THE PAVEMENT MARKINGS. REFLECTIVE PAVEMENT MARKINGS SHALL BE INSTALLED IN ACCORDANCE WITH FDOT INDEX NO. 17352.

BUILDING MARKINGS

ADDRESS NUMERALS SHALL NOT BE LESS THAN 3 INCHES IN HEIGHT FOR RESIDENTIAL BUILDINGS, STRUCTURES, OR PORTIONS THEREOF, AND AT LEAST SIX INCHES IN HEIGHT FOR ALL OTHER BUILDINGS, STRUCTURES, OR PORTIONS THEREOF. ADDRESS NUMERALS SHALL BE ARABIC NUMERALS OR ALPHABET LETTERS, NO CURSIVE LETTERS.

TRAFFIC CONTROL

A MINIMUM OF 2-WAY, ONE LANE TRAFFIC SHALL BE MAINTAINED IN THE WORK SITE AREA. ALL CONSTRUCTION WARNING SIGNAGE SHALL BE IN PLACE PRIOR TO COMMENCEMENT OF CONSTRUCTION AND SHALL BE MAINTAINED THROUGHOUT CONSTRUCTION. ACCESS SHALL BE CONTINUOUSLY MAINTAINED FOR ALL PROPERTY OWNERS SURROUNDING THE WORK SITE AREA. LIGHTED WARNING DEVICES ARE TO BE OPERATIONAL PRIOR TO DUSK EACH NIGHT DURING CONSTRUCTION.

CURBING

CURBING SHALL BE CONSTRUCTED WHERE NOTED ON THE CONSTRUCTION PLANS. CONCRETE FOR CURBS SHALL BE DEPARTMENT OF TRANSPORTATION CLASS 11 CONCRETE WITH A 28 DAY COMPRESSION STRENGTH OF 2500 PSI. ALL CURBS SHALL HAVE SAW CUT CONTRACTION JOINTS AND SHALL BE CONSTRUCTED AT INTERVALS NOT TO EXCEED 10'-0" ON CENTER. CONSTRUCTION OF CURBS SHALL BE IN CONFORMANCE WITH FDOT STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION (1991) SECTION 520 AND DETAILS PROVIDED ON THE CONSTRUCTION PLANS.

R/W RESTORATION

ALL AREAS WITHIN THE RIGHT-OF-WAYS SHALL BE FINISH GRADED WITH A SMOOTH TRANSITION INTO EXISTING GROUND. ALL SWALES SHALL BE STABILIZED IMMEDIATELY AFTER FINAL GRADING. ALL DISTURBED AREAS SHALL BE RAKED CLEAN OF ALL LIMEROCK AND ROCKS AND SODDED AFTER FINAL GRADING IN ACCORDANCE WITH THE CONSTRUCTION PLANS PRIOR TO FINAL INSPECTION. ALL GRASSING (SEED OR SOD) SHALL BE MAINTAINED BY THE CONTRACTOR UNTIL FINAL ACCEPTANCE BY THE OWNER/OPERATOR.

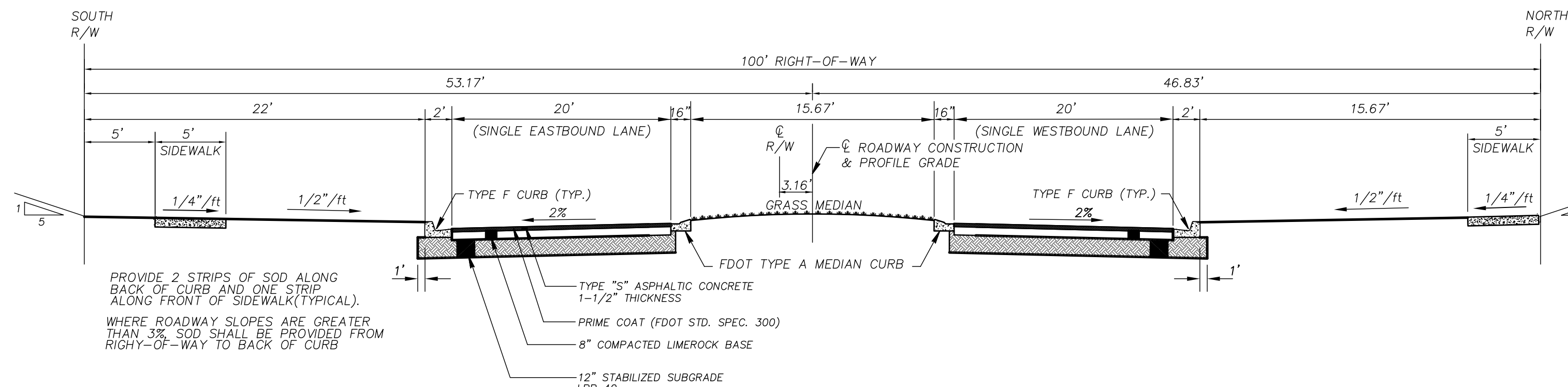
SITE ACCESS

ALL ACCESS TO THE JOB SITE FOR CONSTRUCTION AND RELATED ACTIVITIES SHALL BE BY EXISTING STREETS AND ROADS.

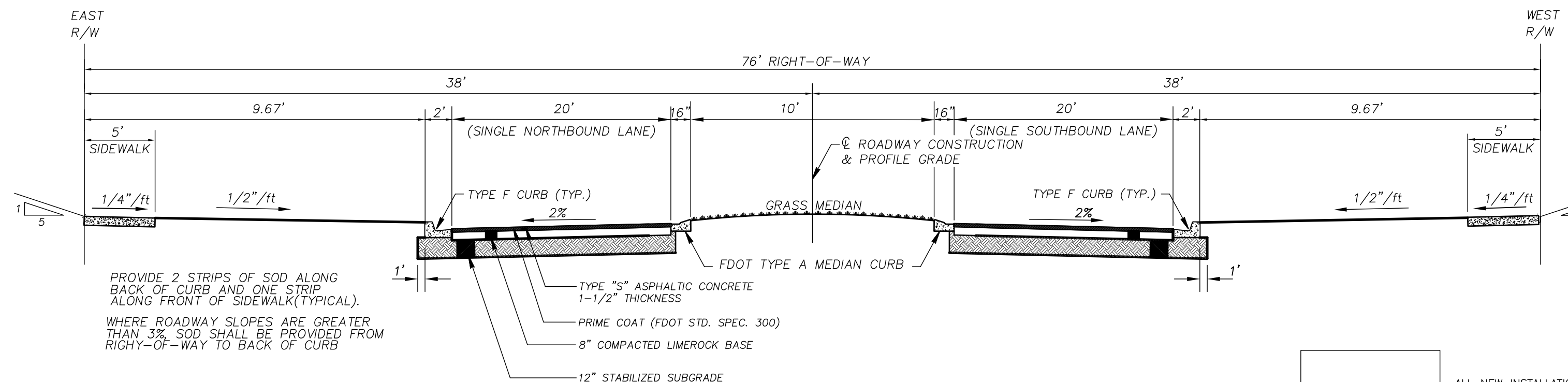
SERVICES

SERVICES ARE THE PROPERTY OF THE FOLLOWING:

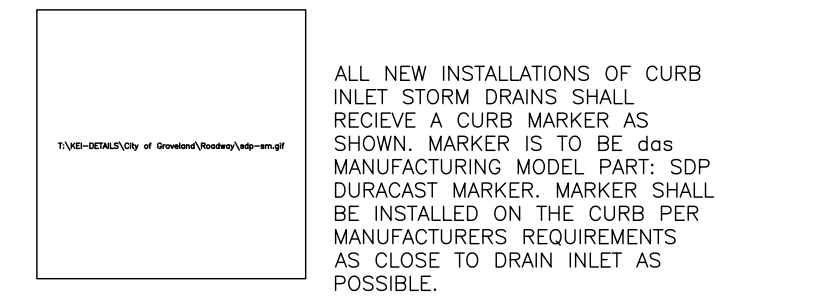
FIRE CITY OF GROVELAND 156 S. LAKE AVENUE GROVELAND, FL 34736 (352) 429-4166	POLICE CITY OF GROVELAND 156 S. LAKE AVENUE GROVELAND, FL 34736 (352) 429-4166
GARBAGE INTERMOUNTAIN CONTRACTOR (352) 429-2141	SCHOOLS CLAY COUNTY PUBLIC SCHOOLS (352) 343-1600



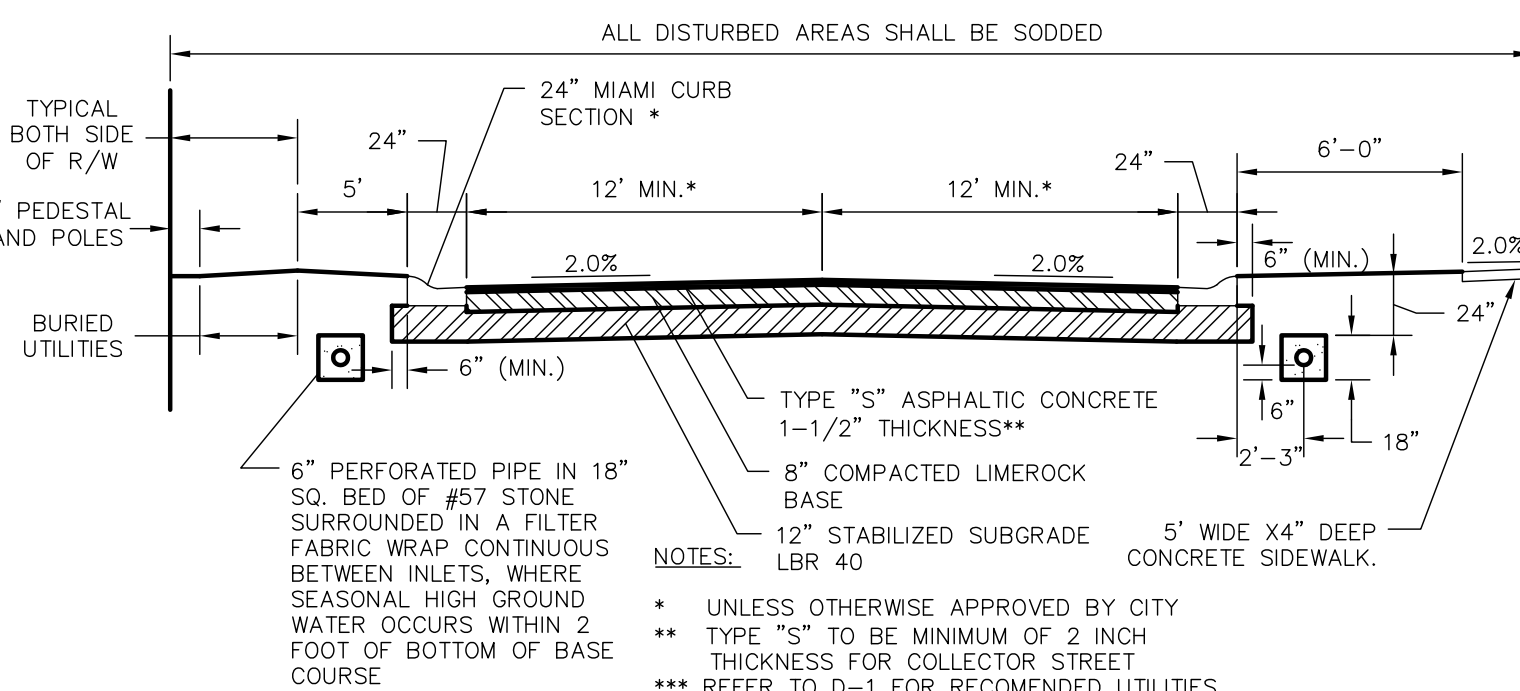
TYPICAL BOULEVARD CROSS SECTION - CHERRY LAKE SPRINGS BLVD.



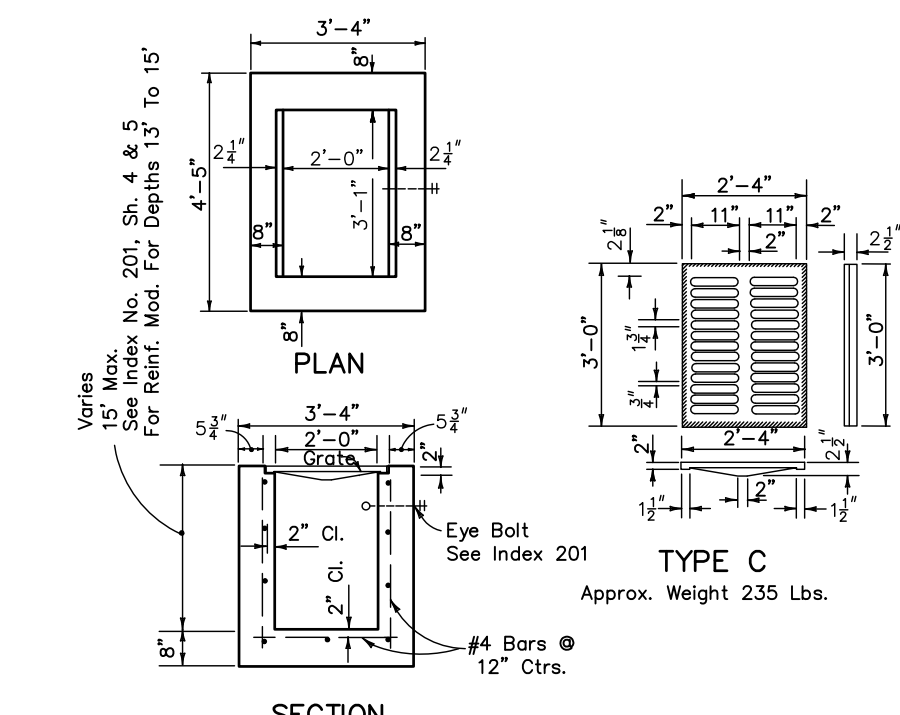
TYPICAL BOULEVARD CROSS SECTION - CHERRY LAKE VISTA DRIVE



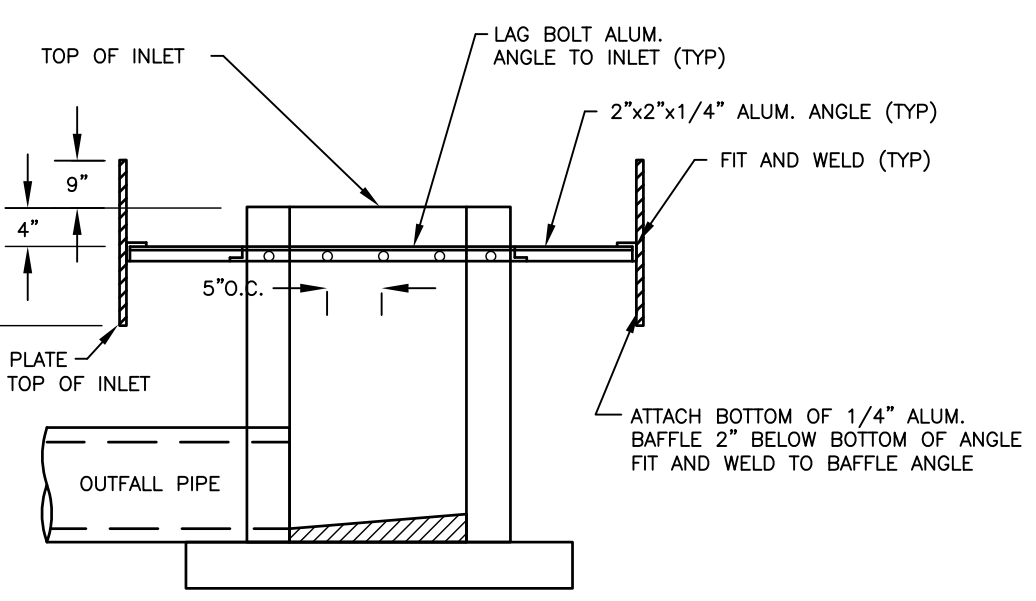
STANDARD CURB MARKER



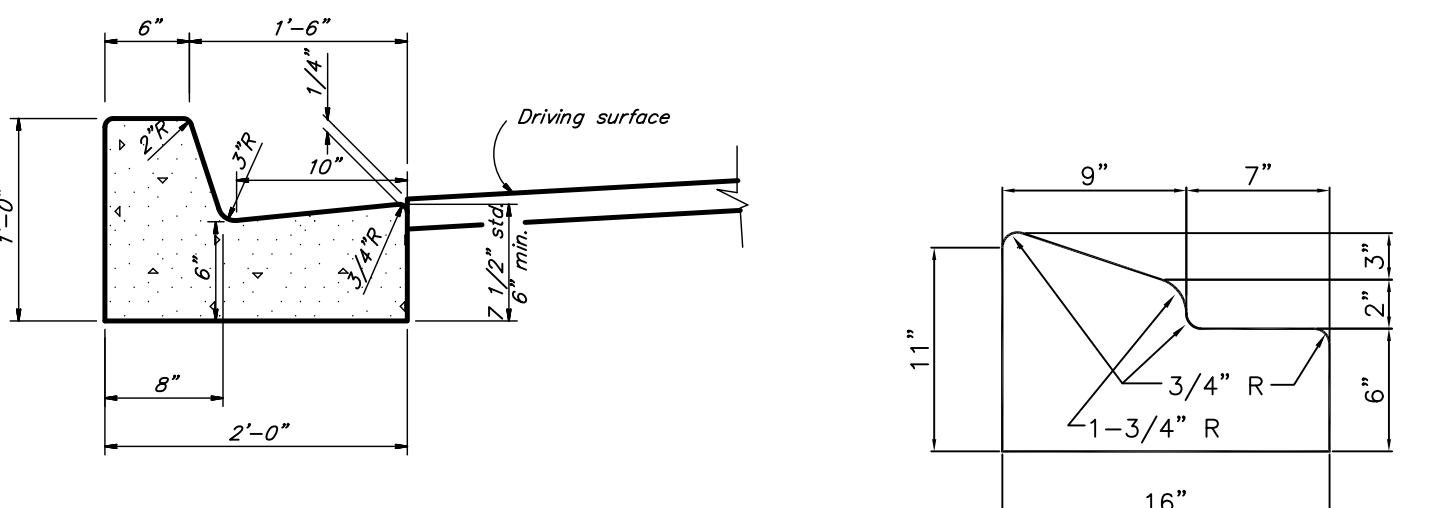
TYPICAL STREET SECTION WITH CURB & GUTTER



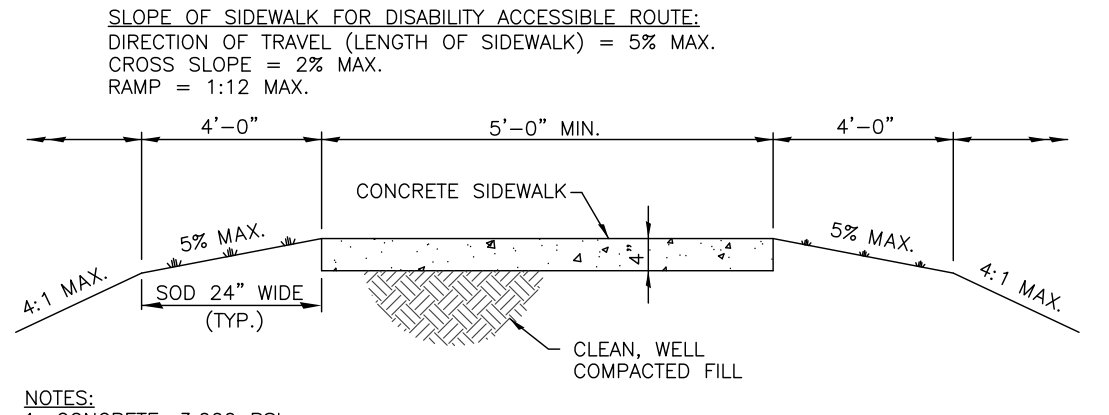
TYPE "C" INLET DETAILS



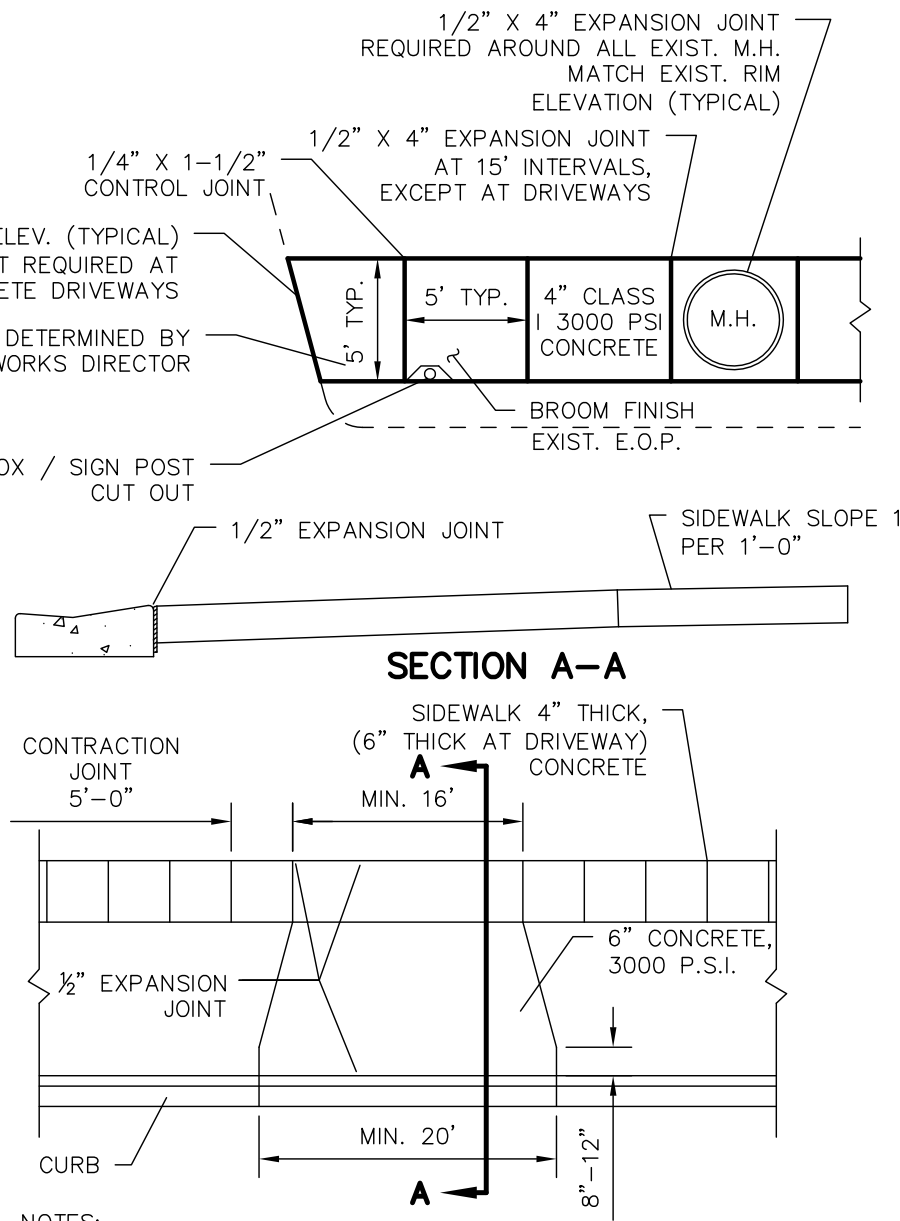
INLET SKIMMER DETAIL



TYPE "F" CURB DETAIL and **TYPE "A" MEDIAN CURB**



TYPICAL SIDEWALK SECTION



SECTION A-A

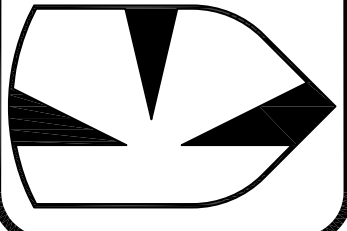
RESIDENTIAL SIDEWALK & DRIVEWAY

NOTES:
1. SIDEWALKS SHALL BE 4" THICK EXCEPT AT DRIVEWAYS WHERE THICKNESS SHALL BE 6".
2. SIDEWALK WIDTH SHALL BE 5 FEET UNLESS OTHERWISE DIRECTED BY CITY OF GROVELAND.
3. APRON WIDTH AT STREET SHALL BE A MINIMUM OF 2 FEET GREATER THAN DRIVEWAY WIDTH.
4. SIDEWALKS TO MATCH DRIVEWAY ELEVATIONS.



- NOTES:
1. CONCRETE: 3,000 PSI
2. CONTROL JOINTS: 1/4" D SAWCUT @ 5'-0" O.C.
3. CONSTRUCTION JOINTS: 1/2" P.T. LUMBER AT 20'-0" O.C. ALL JOINTS SHALL CARRY THRU THICKENED EDGE.
4. DO NOT USE THIS DETAIL FOR SIDEWALKS WITH A CANOPY. FOR DETAIL OF THICKENED SLABS AND/OR FOOTINGS FOR SIDEWALKS WITH A CANOPY SEE ARCHITECTURAL/STRUCTURAL DRAWINGS.
5. SIDEWALK THICKNESS SHALL BE INCREASED TO 6" AT ALL DRIVEWAYS.

THOMAS L. KNIGHT, P.E.
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Certificate of Authorization No. 00029972



SPRINGS AT CHERRY LAKE
SECTION 3; TOWNSHIP 22S; RANGE 25E, CITY OF GROVELAND, FLORIDA
OWNER/DEVELOPER: L&D LLC, ET AL
ADDRESS: P.O. BOX 97, BELL, FL 32619 PHONE: (352) 463-2942

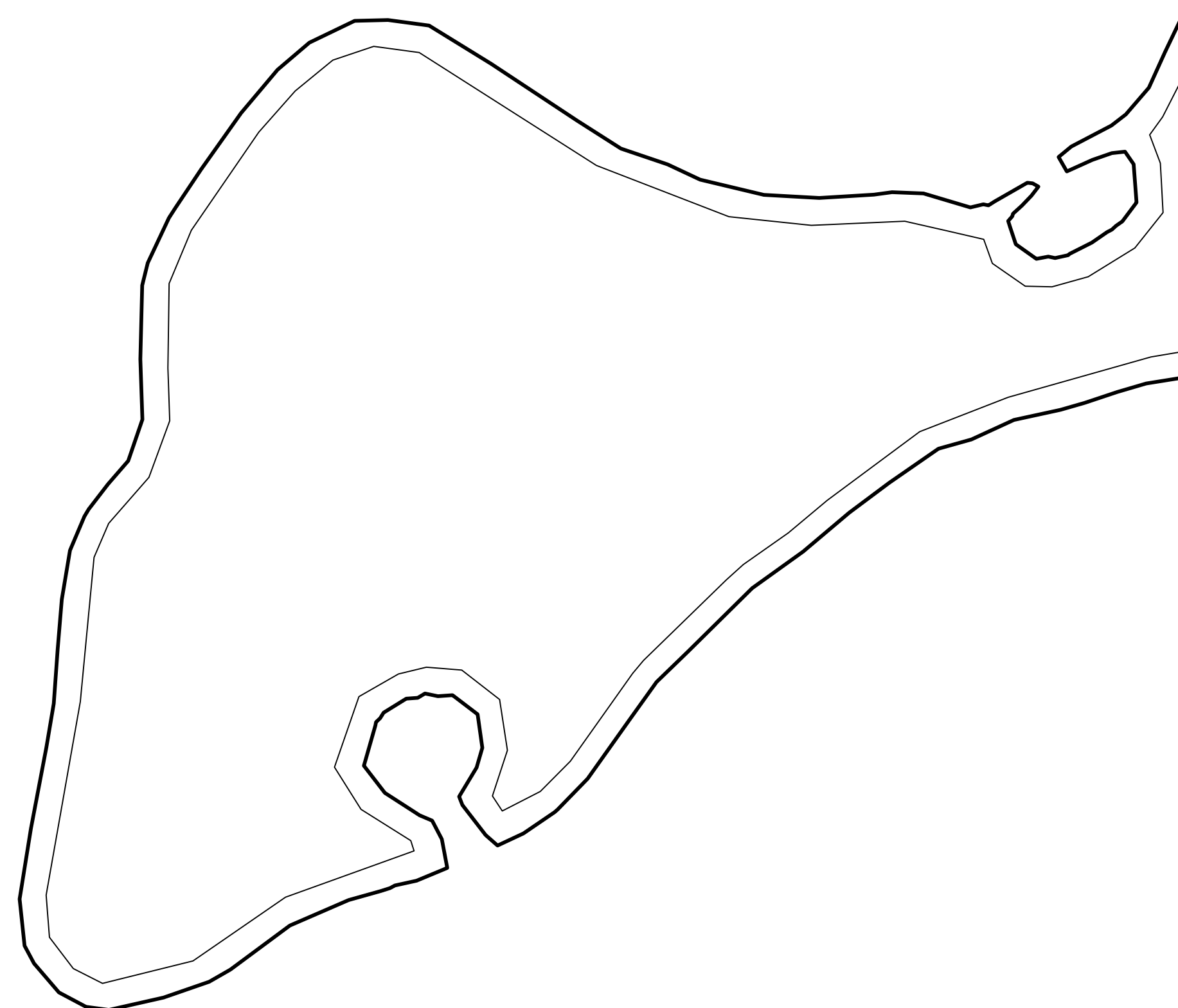
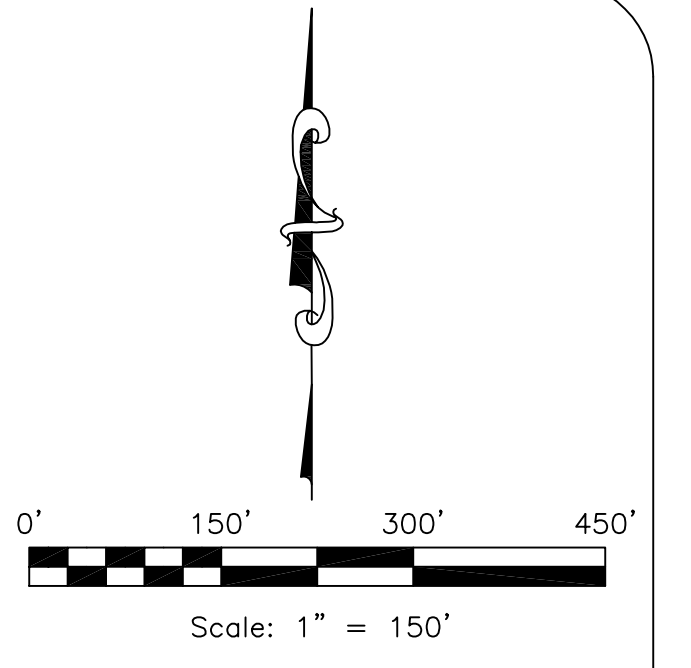
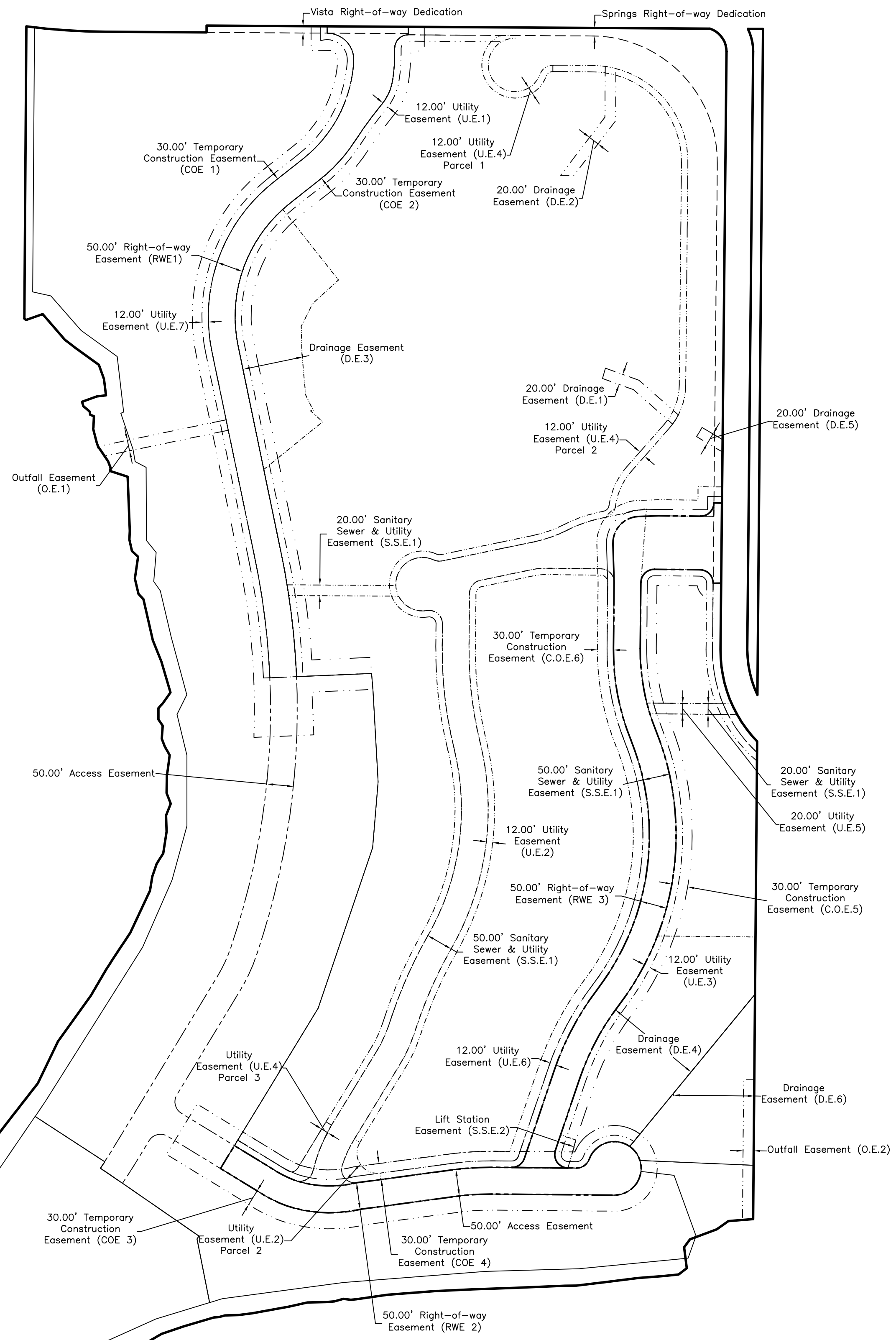
DATE: NOVEMBER 2014
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APPROVED BY: TLK

SCALE: NONE
REVISIONS:
05/15 REVISED PER CITY RAI

PROJECT NO. K06-11
GENERAL NOTES & DETAILS

THOMAS L. KNIGHT #47614

Master Easement Exhibit
 The Vista @ Cherry Lake
 The Springs @ Cherry Lake
 The Cape @ Cherry Lake



Master Easement Exhibit
 PREPARED FOR:
The Vista, The Springs & The Cape @ Cherry Lake

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