

The Cape at Cherry Lake Preliminary Plat

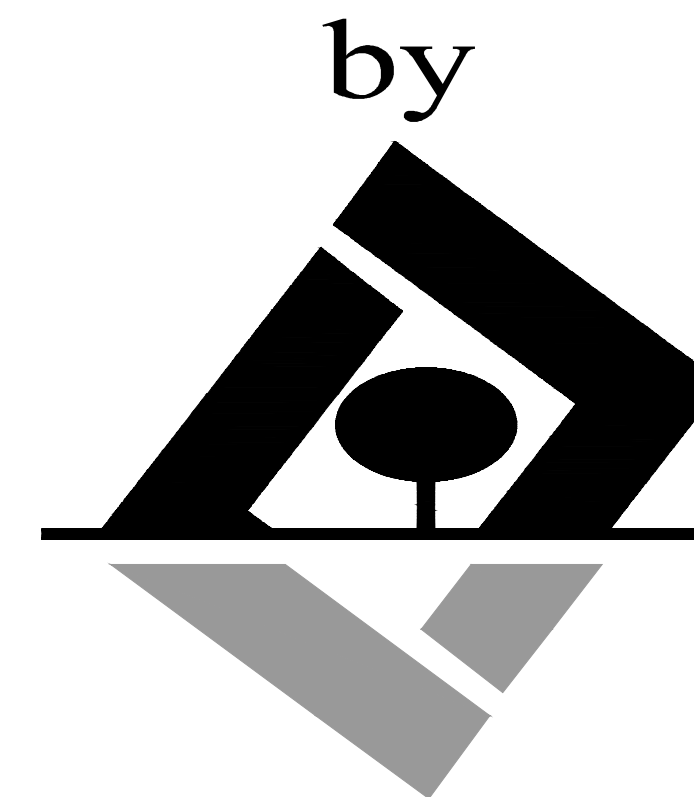
City of Groveland, Florida

December 3, 2015

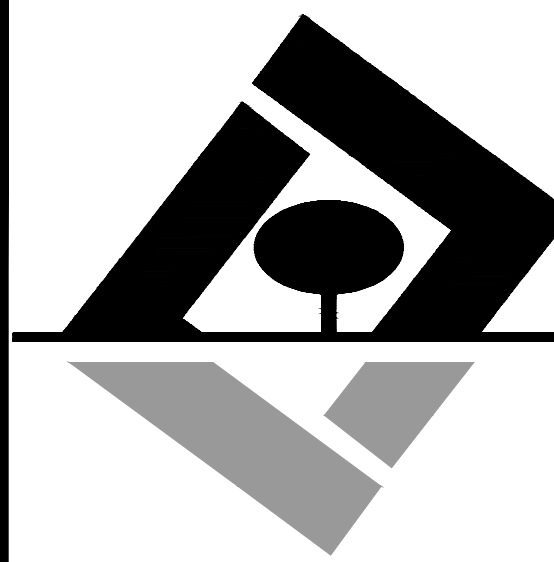
Parcel I.D. # 04-22-25-0004-000-02-500, 01-22-24-3601-006-00-001

for

Red Jacket Development



G L SUMMITT
ENGINEERING INC



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Red Jacket Development Group
625 Waltham Ave.
Orlando, FL 32809
(407) 855-1136

The Cape at
Cherry Lake
Groveland, Florida

Preliminary Plat

Drawing Index

Coversheet

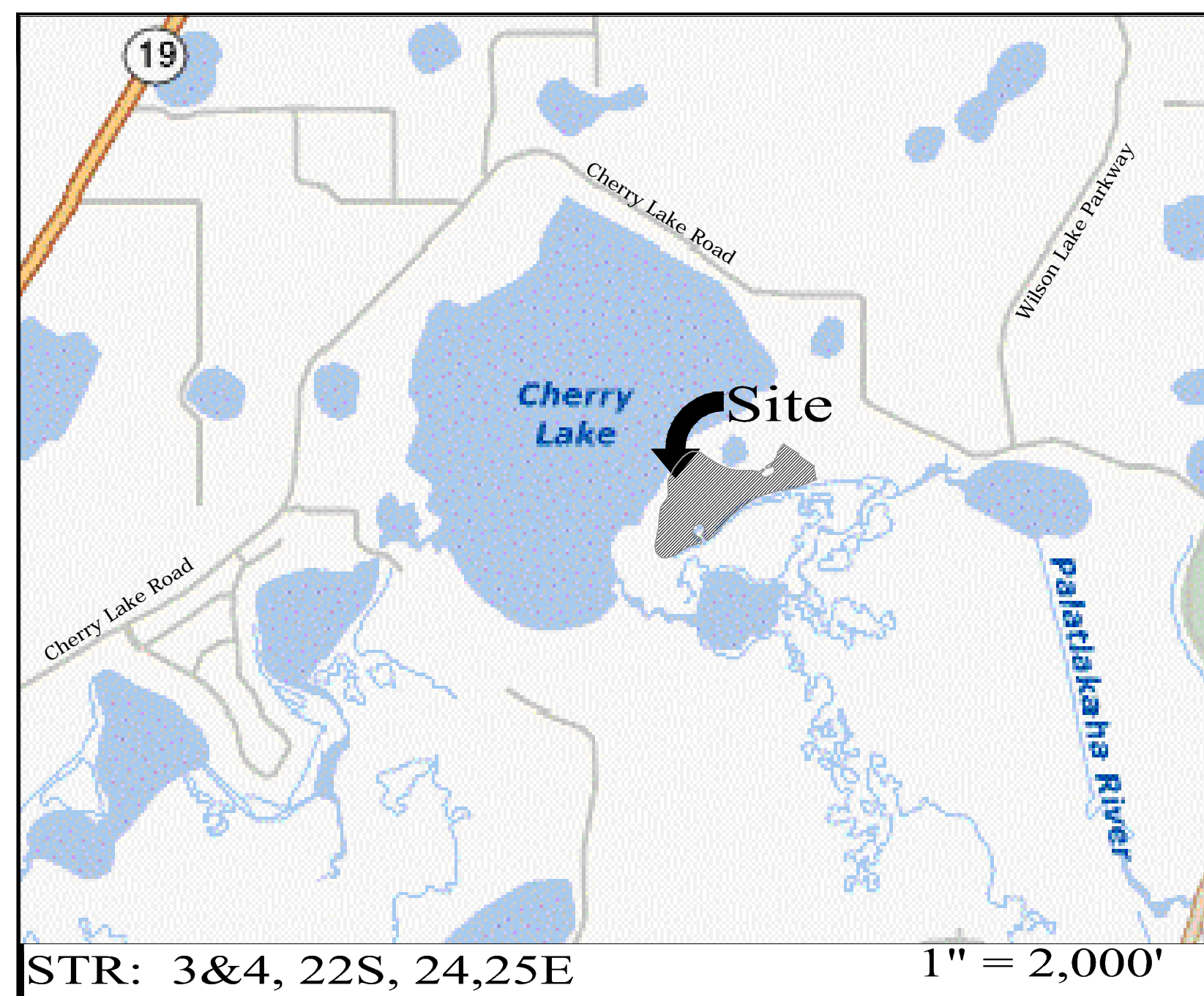
Project Team

Owner Lawrence E. White as Trustee Under Agreement LEWTC2 625 Waltham Ave. Orlando, FL 32809 Ph: 407-855-1136 Contact: Lawrence E. White	Civil Engineer G L Summitt Engineering, Inc. 3667 Simonton Place Lake Mary, FL 32746 Ph: (407) 323-0705 Fx: (407) 992-8650
Surveyor SurvTech Solutions, Inc. 10220 U.S. Highway 92 East Tampa, FL 33610 Ph: (813) 621-4929 Fx: (813) 621-7194 Contact: David J. O'Brien Jr.	Geotechnical Engineer Andreyev Engineering, Inc. 1170 W. Minnsola Ave. Clermont, FL 34711 Ph: (352) 241-0508 Fx: (352) 241-0977
Developer Red Jacket Development Group 625 Waltham Ave. Orlando, FL 32809 Ph: 407-855-1136 Fx: 407-851-2226 Contact: Clay Frankel	Landscape Architect GAI Consultant Group, Inc. 618 E. South Street, Suite 700 Orlando, Florida 32801 Ph: (407) 423-8398 Fx: (321) 436-4796

Utilities

Drinking Water City of Groveland 156 S. Lake Avenue Groveland, FL 34736 Ph: (352) 429-0227	Electric Progress Energy 3250 Bonnet Creek Road Lake Buena Vista, FL 32830 Ph: (407) 827-1250
Garbage Disposal Veolia Environmental Services 109 Sampsey Road Groveland, FL 34736 Ph: (352) 351-8886	Phone Embarq 33 North Main St. Winter Garden, FL 34787 Ph: (407) 814-5351
WasteWater City of Groveland 156 S. Lake Ave. Groveland, FL 34736 Ph: (352) 429-0227	Cable Brighthouse Networks 2251 Lucien Way Maitland, FL 32751 Ph: (407) 215-5205

Location Map



No.	Title	Revised
1	Coversheet	07-30-14
2	Symbols & Abbreviations	07-30-14
3	Boundary & Topographic Survey	07-30-14
4	Combined Site Plan	07-30-14
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7	Detailed Grading & Drainage Plan	07-30-14
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Plans not valid unless Stamped, Dated and Sealed below.
 GEOFFREY L. SUMMITT, P.E.
 Date: December 3, 2015
 FL Registration #88775
 Certificate of Authorization #29665

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ABBREVIATIONS

A	AREA ANCHOR BOLT ABANDON(ED) ACRES ACRE FOOT/FEET ASBESTOS CEMENT PIPE ADDITIONAL AVERAGE DAILY TRAFFIC ALUMINUM ALTERNATE BEFORE NOON AMPERES APPROXIMATE AIR RELEASE VALVE AIR RELEASE VALVE VALVE ASPHALT ASSEMBLY AVENUE AVERAGE AZIMUTH	F	FRAME AND COVER FLOOR DRAIN FOUNDATION FLORIDA DEPARTMENT OF TRANSPORTATION FINISHED FLOOR FINISHED GRADE FIRE HYDRANT FURNISH AND INSTALL FIGURE FINISHED FITTING FENCE LINE FLOOR FLEXIBLE FLANGE FORCE MAIN FOOTING FEET PER HOUR FEET PER MINUTE FEET PER SECOND FEET/FOOT FOOTING	P	POINT OF CURVATURE POINT OF COMPOUND CURVATURE POLYETHYLENE PIPE PROFILE GRADE POINT POINT OF INTERSECTION PROPERTY LINE POINT OF BEGINNING PUSH ON JOINT POWER POLE PHONE RISER PRESSURE PROJECT PROPOSED POINT OF REVERSE VERTICAL CURVE POUNDS PER SQUARE FOOT POUNDS PER SQUARE INCH POINT OF TANGENCY POLYVINYL CHLORIDE PAVEMENT POWER
B	BACKFLOW PREVENTER BASELINE BUILDING BOULEVARD BENCH MARK BOUNDARY BLOWOFF BACK OF CURB BOTTOM BEARING BOTTOM OF SLOPE BUTTERFLY VALVE	G	GAUGE GALLON GALVANIZED GAS MAIN GALLONS PER DAY GALLONS PER HOUR GALLONS PER MINUTE GALLONS PER SECOND GUARD RAIL GROUND GRADE GALVANIZED STEEL PIPE GATE VALVE GATE VALVE AND BOX GLY WIRE GROUND WATER TABLE	Q	FLOW RATE
C	CAPACITY CATCH BASIN CENTER TO CENTER CEMENT CUBIC FEET CUBIC FEET PER MINUTE CUBIC FEET PER SECOND CURB AND GUTTER CAST IRON CAST IRON PIPE CONSTRUCTION JOINT CENTER LINE CONCRETE LIGHT POLE CLEAR/CLEARANCE CLASS CM CORRUGATED METAL PIPE CORRUGATED METAL PIPE ARCH CONDUIT COUNTY INSIDE DIAMETER COLUMN COMPLETE CONCRETE CONNECTION CONSTRUCTION CONTINUOUS COORDINATE(S) CORNER COUPLING CONCRETE POWER POLE CONTROL STRUCTURE COATING CENTER CABLE TELEVISION CULVERT CURB YARD CYLINDER	H	HOSE BIBB HIGH DENSITY POLYETHYLENE HORIZONTAL HORSEPOWER HOUR HEIGHT HEADWALL HIGH WATER LEVEL HIGHWAY HYDRAULIC	R	RADIUS REINFORCED CONCRETE PIPE REINFORCED CONCRETE PIPE ARCH ROAD ROADWAY REDUCER REFERENCE REINFORCE(ED) REQUIRED REVISE/REVISION REVOLUTIONS PER MINUTE RAILROAD RIGHT RELIEF VALVE RIGHT-OF-WAY REUSE WATER MAIN
D	DOUBLE DEGREE DEFLECTION DEPARTMENT DETAIL DESIGN HIGH WATER LEVEL DUCTILE IRON DIAMETER DIAGONAL DIMENSION DUCTILE IRON PIPE DISCHARGE DISTANCE DROP MANHOLE DOWN DRAIN DRAWING DRIVEWAY	I	INTERSTATE HIGHWAY INTERSECTION ANGLE INSIDE DIAMETER INSIDE FACE INCHES INLET INSERT INSTALL IRON PIPE IRON ROD INTERSECT/INTERSECTION INVERT	S	SOUTH SANITARY SEWER SPASH BLOCK SCHEDULE SIDE DRAIN SIDEWALK SOUTHWEST SECONDS SECTION SHEET SEASONAL HIGH GROUND WATER TABLE SIMILAR SETBACK LINE SLOPE SHEET METAL SPECIFICATION(S) SQUARE SQUARE INCHES SQUARE FOOT/FEET SQUARE YARD(S) STATE ROAD STAINLESS STEEL STREET STATION STANDARD STEEL STRUCTURE STORM SEWER SUPPORT SUSPENDING/SUSPENSION SERVICE SOUTHWEST SIDEWALK SYMBOL(S) SYMMETRICAL SYSTEM
E	EAST EACH EDGE OF CONCRETE ENERGY DISSIPATOR EACH FACE EFFLUENT EXISTING GRADE EASEMENT LINE ELBOW ELECTRIC ELEVATION ELLIPSE/ELLIPTICAL ENCASEMENT ENGINEERING EDGE OF PAVEMENT EQUAL/EQUATION EQUIPMENT EQUIVALENT EASEMENT ESTIMATE EACH WAY ENDWALL EXCAVATE/EXCAVATION EXISTING EXPAND/EXPANSION EXTEND/EXTENSION	J	JUNCTION BOX FUNCTION JOIST JOINT	T	TANGENT TURBIDITY TOP AND BOTTOM TEMPORARY BENCH MARK TIME OF CONCENTRATION TRENCH DRAIN TOTAL DYNAMIC HEAD TECHNICIAN/TECHNICAL TEMPORARY TERMINAL LAMP/POLE TOP OF BANK TOP OF CURB TOE OF SLOPE TOTAL TOP OF SLOPE TOWNSHIP TYPICAL
F	F	M	MAINTENANCE MATERIAL MAXIMUM MECHANICAL MITERED END MANUFACTURER MILLION GALLONS PER DAY MANHOLE MANHOLE COVER MEAN HIGH WATER LEVEL MINIMUM MISCELLANEOUS MECHANICAL JOINT METAL LIGHT POLE MEAN LOW WATER LEVEL MONUMENT MILES PER HOUR MEAN SEA LEVEL MOUNTING	U	UNDERDRAIN UNDERGROUND UNLESS OTHERWISE NOTED UNDERGROUND TELEPHONE CABLE
N	NORTH NOT APPLICABLE NAIL AND CAP NORTHWEST NATURAL GROUND NOT IN CONTRACT NUMBER NOMINAL NOT TO SCALE NORTHWEST NORMAL WATER LEVEL	W	WEST WITH WATER MAIN WITHOUT WATER WEATHER PROOF WOOD POWER POLE WATER SURFACE WET SEASON WATER TABLE WEIGHT WATER VALVE WEALED WIRE FABRIC WEALED WIRE MESH	V	VALVE BOX VERTICAL CURVE VITRIFIED CLAY PIPE VERTICAL VERTICAL POINT OF CURVE VERTICAL POINT OF INTERSECTION VERTICAL POINT OF TANGENCY
O	ON CENTER OUTSIDE DIAMETER OR EQUAL OPENING OPPOSITE OVAL REINFORCED CONCRETE PIPE OUTFALL STRUCTURE OVERFLOW OVERHEAD	Y	YARD YEAR	MISC	AND AT DELTA

EXISTING SYMBOLS

LINES																																																																							
	CENTER LINE																																																																						
	WIRE FENCE																																																																						
	CHAIN LINK FENCE																																																																						
	WOOD FENCE																																																																						
	GUARDRAIL																																																																						
	EXISTING PLATS																																																																						
	RETAINING WALL																																																																						
	RIGHT-OF-WAY LINE																																																																						
	SHORELINE																																																																						
	SWALE																																																																						
SANITARY																																																																							
	SANITARY SEWER LINE																																																																						
	CLEANOUT																																																																						
	FORCE MAIN																																																																						
	MANHOLE																																																																						
WATER & REUSE WATER																																																																							
	WATER MAIN 6" PVC PIPE																																																																						
	REUSE WATER MAIN																																																																						
	BACKFLOW PREVENTOR																																																																						
	WATER VALVE																																																																						
	FIRE HYDRANT																																																																						
	WATER METER																																																																						
STORM DRAIN																																																																							
	STORM SEWER																																																																						
	MANHOLE																																																																						
	MITERED END																																																																						
	STORM INLET																																																																						
	FDOT TYPE 6 INLET																																																																						
HIGHWAY & UTILITIES																																																																							
	BENCHMARK																																																																						
	RECOVERED 4x4 CM																																																																						
	SET 4x4 CM		SET IRON ROD		RECOVERED IRON ROD		CONCRETE		COUNTY ROADS		INTERSTATE ROADS		STATE ROADS		WOOD AND/OR METAL LIGHT POLE		CONCRETE LIGHT POLE		YARD LIGHT		MISCELLANEOUS SIGN		SECTION CORNER		EDGE OF PAVEMENT W/O CURB		EDGE OF PAVEMENT W/CURB		BRICK PAVERS		DIRT ROAD		8" MAPLE TREE		8" OAK TREE		8" PINE TREE		8" PALM TREE		8" MISC. TREE		CONCRETE UTILITY POLE		ELECTRIC MANHOLE		TELEPHONE MANHOLE		TELEPHONE RISER		ELECTRIC BOX / TRANSFORMER		WELL		MONITORING WELL		DUMPSTER		RR CROSSING SIGN		RR CROSSING GATE		TRAFFIC SIGNAL POLE		SATELLITE DISH		GUY WIRE		HANDICAP PARKING		SPOT ELEVATION
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	HANDICAP PARKING																																																																						
	SPOT ELEVATION																																																																						

PROPOSED SYMBOLS

LINES	
	BOUNDARY
	CONSERVATION SETBACK
	CENTER LINE
	CHAIN LINK FENCE
	CONTOUR
	EASEMENT
	FENCE
	GUARDRAIL
	LOT LINE
	PROPERTY LINE
	RETAINING WALL
	RIGHT-OF-WAY LINE
	SETBACK LINE
	SHORELINE
	SWALE
	TREE LINE
SANITARY	
	100 LF SAN 8 PVC 0.40%
	100 LINEAR FEET SANITARY 8" PVC PIPE @ 0.40% SLOPE
	CLEANOUT
	DOUBLE SANITARY SERVICE
	FORCE MAIN
	MANHOLE
WATER & REUSE WATER	
	WATER MAIN
	11 1/2" BEND
	22 1/2" BEND
	45° BEND
	90° BEND
	TEE
	CROSS
	CHECK VALVE
	DOUBLE DETECTOR CHECK VALVE
	DOUBLE WATER SERVICE
	GATE VALVE
	FIRE HYDRANT
	METER
	REDUCER
	BLOWOFF
	BACKFLOW PREVENTER
	SAMPLE POINT
	UNDERDRAIN CLEANOUT
	RECLAIMED WATER MAIN
	REUSE WATER SYSTEM CONNECTION
	DOUBLE REUSE WATER SERVICE
STORM DRAIN	
	100 LF STS 24 RCP @ 0.20%
	100 LINEAR FEET STORM PIPE 24" REINFORCED CONCRETE PIPE @ 0.20%
	UNDERDRAIN 6" PVC PIPE
	DRAINAGE FLOW DIRECTION
	FDOT INLET TYPE 1
	FDOT INLET TYPE 2
	FDOT INLET TYPE 3
	FDOT INLET TYPE 4
	FDOT INLET TYPE 5
	FDOT INLET TYPE 6
	MANHOLE
	MITERED END SECTION
	SLOPE DIRECTION ARROW FOR POND SIDE SLOPE
	SPOT ELEVATION
	STORM INLET
HIGHWAY & UTILITIES	
	BOUND CORNER
	CONCRETE
	COUNTY ROADS
	DETAIL REFERENCE
	DUMPSTER PAD
	FINISHED FLOOR ELEVATION W/ FHA LOT TYPE
	GUY POLE
	HANDICAP PARKING
	INTERSTATE ROADS
	LIGHT POLE
	SIGNS
	SECTION CORNER
	STATE ROADS
	SILT FENCE
	TRAFFIC FLOW PAVEMENT MARKING
	UTILITY POLE
	BLDG OR STRUCTURE
	TYPE F CURB & GUTTER
	MIAMI CURB
	CROSS SECTION DETAIL



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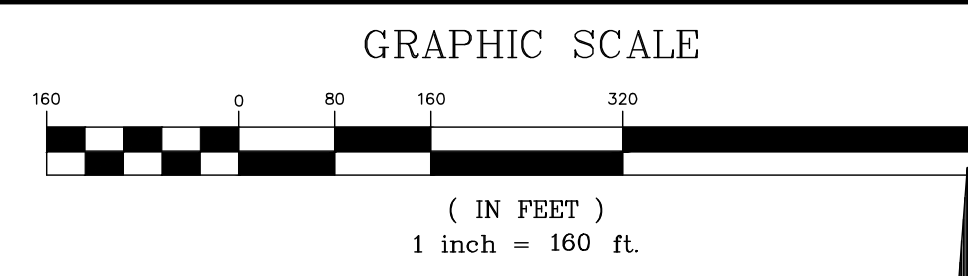
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Symbols & Abbreviations

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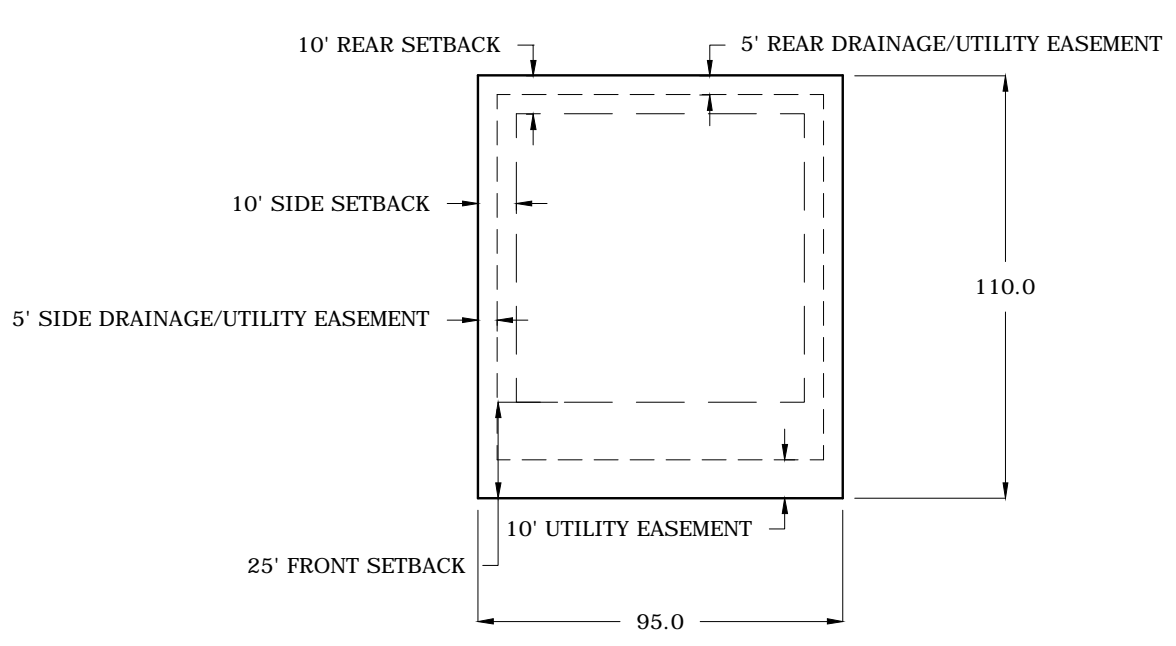
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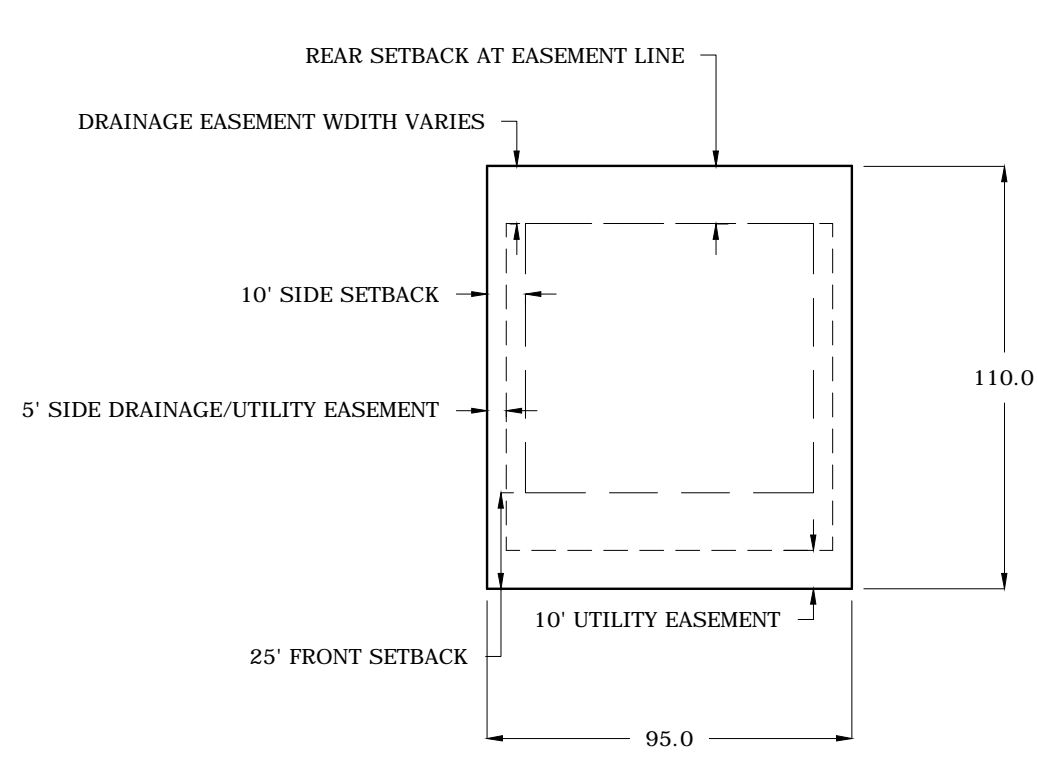
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SOILS LEGEND

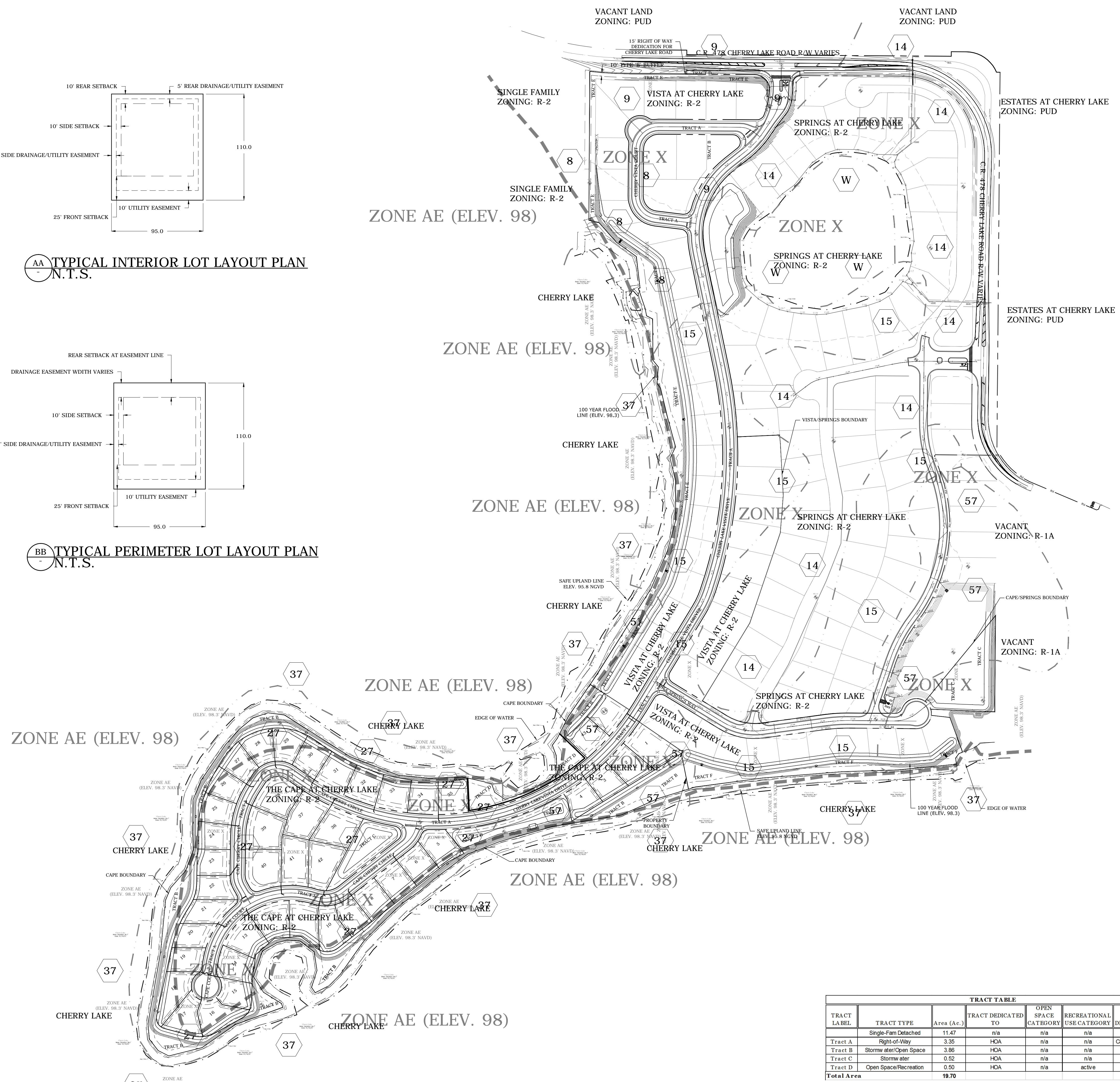
- 8 AOPKA URBAN LAND
- 9 AOPKA FINE SANDS
- 13 CANDLER FINE SANDS
- 16 CANDLER URBAN LAND
- 27 KENDRICK FINE SANDS
- 37 OCOEE FINE SANDS
- 57 TAVARES FINE SANDS
- W WATER
- SOILS LINE



AA TYPICAL INTERIOR LOT LAYOUT PLAN
N.T.S.



BB TYPICAL PERIMETER LOT LAYOUT PLAN
N.T.S.



- SITE DATA:**
- Site is located in Section 3.4 & 9 Township 22 South, Range 25 East, Lake County Florida
 - Current Site Zoning: R-2
 - Site Contains 19.70 acres more or less (+/- 856,155 square feet)
 - Existing Use: Vacant/Agricultural Proposed Use: Single Family Residential
 - Total Number of Proposed Single Family Units: 44
 - Residential Density: 44 Single Family Units / 19.70 acres = 2.23 units/acre
 - Projected School Age Population:
 - 44 Single Family Units x 0.47 = 21 students
 - a. Elementary School 11 students
 - b. Middle School 6 students
 - c. High School 4 students
 - Minimum Lot Dimensions:
 - Let Area (sq. ft.) 9,000
 - Min. Living Area (sq. ft.) 2,400
 - Min. Lot Width @ Blvd Strk (ft.) 50
 - Min. Lot Depth (ft.) 90
 - Max. Building Height (ft.) 95 / 2 Story
 - Max. Lot Coverage 60% (impervious area)
 - Building Setbacks:
 - Front yard setback: 25'
 - Side yard setback: 10'
 - Rear yard setback: 10'
 - Side Street setback: 15'
 - Collector Street setback: N/A
 - Major Collector Street setback: N/A
 - Arterial Street setback: N/A
 - Expressway setback: N/A
 - Construction within 300' of Flood plain is proposed for all small portion of the roadway and does not impact the lots.
 - Open Space and Recreation Tracts will be dedicated to a mandatory H.O.A.
 - Fire flow shall be provided according to the following:
 - a. Single Family: 500 gpm @ 20 psi
 - Solid waste disposal services will be provided by Veolia Environmental Services.
 - Water & Sewer will be provided by City of Groveland.
 - Solid Waste Generation:
 - 44 (Units) x 2.0 (persons/Unit) x 3 (lbs./person-day) = 388 lbs/day
 - Site will connect to sewer through The Springs and water through The Springs & The Vista.
 - Blue reflectors to be installed in streets adjacent to all fire hydrant as per City of Groveland Land Development Regulations
 - All traffic markings shall be in accordance with City of Groveland, Lake County and FDOT roadway specifications
 - Project will be constructed in one phase.
 - Sidewalks will be provided adjacent to both sides of all roads and will be constructed by the homebuilder and not with the infrastructure.
 - Wellhead protection to comply with City of Groveland and St. Johns River Water Management District.
 - Roads will be constructed in two (2) phases; of which the second phase will consist of the final 4" friction course which will be completed after the homes are substantially complete.
 - All re-entrant pipes will be sealed and maintained by the HOA.
 - Neighboring land owners have agreed to grant access, drainage and utility easements as needed. Such easements will be recorded prior to final platting.
 - Open Space Break-down:

Category	Area Provided	Area Allowed	Percentage Allowed to Meet Requirement
Recreation	0.50 ac.	0.50 ac.	100%
Open Space Tracts	3.86 ac.	3.86 ac.	100%
Roads (gross strip)	1.07 ac.	1.07 ac.	100%
Landscape Buffers	0.00 ac.	0.00 ac.	100%
TOTAL	5.43 ac. (27.6% of gross land area)	5.43 ac. (27.6% of gross land area)	
Open Space Required: 25% (developable area)		19.70 ac. * 25% = 4.93 ac.	
 - Living Area is defined as that area serviced by a HVAC system.
 - At no time shall any structures, appurtenances or impervious materials be installed on any portion of the Open Space Tracts.
 - All recreation equipment must be approved by the Community Development Department and, to the extent required by the regulations, will be installed by the time 50% of the Certificates of Occupancy have been issued.
 - A 5' sidewalk will be constructed along Cherry Lake Road, however if during discussions with Lake County there is a safety issue with the construction of the sidewalk the developer will pay into the city's sidewalk fund in lieu of constructing the sidewalk.
 - All external HVAC A/C pool equipment shall be placed on one side of house only.
 - Proposed Finished Floor grades are expected to be no more than 1.5' above existing grade.
 - The turn lanes at the entrance of the Vista and the adjacent Springs project and the portion of Cherry Lake Road between them, and with regard to the curve realignment of Cherry Lake Road, pursuant to a cost sharing agreement, the developers of these projects have agreed that all such improvements for both projects will be completed by the first of these projects to commence construction.
 - Recreation Area:

TRACT LABEL	TRACT TYPE	Area (Ac.)	TRACT DEDICATED TO	OPEN SPACE CATEGORY	RECREATIONAL USE CATEGORY	EASEMENT DEDICATED TO
	Single-Fam Detached	11.47	n/a	n/a	n/a	n/a
Tract A	Right-of-Way	3.35	HOA	n/a	n/a	City of Groveland
Tract B	Stormwater/Open Space	3.86	HOA	n/a	n/a	n/a
Tract C	Stormwater	0.52	HOA	n/a	n/a	n/a
Tract D	Open Space/Recreation	0.50	HOA	n/a	active	n/a
Total Area		19.70				

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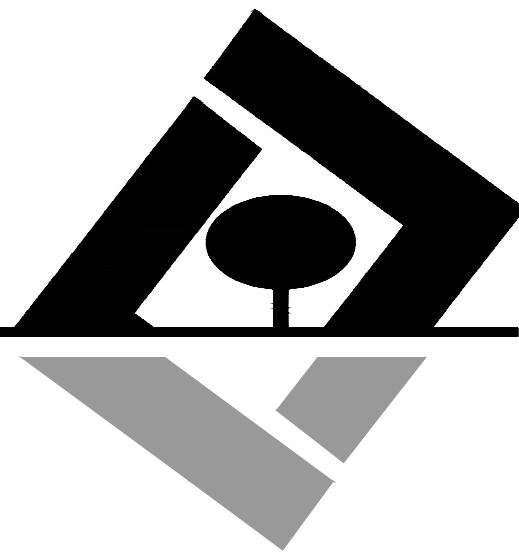
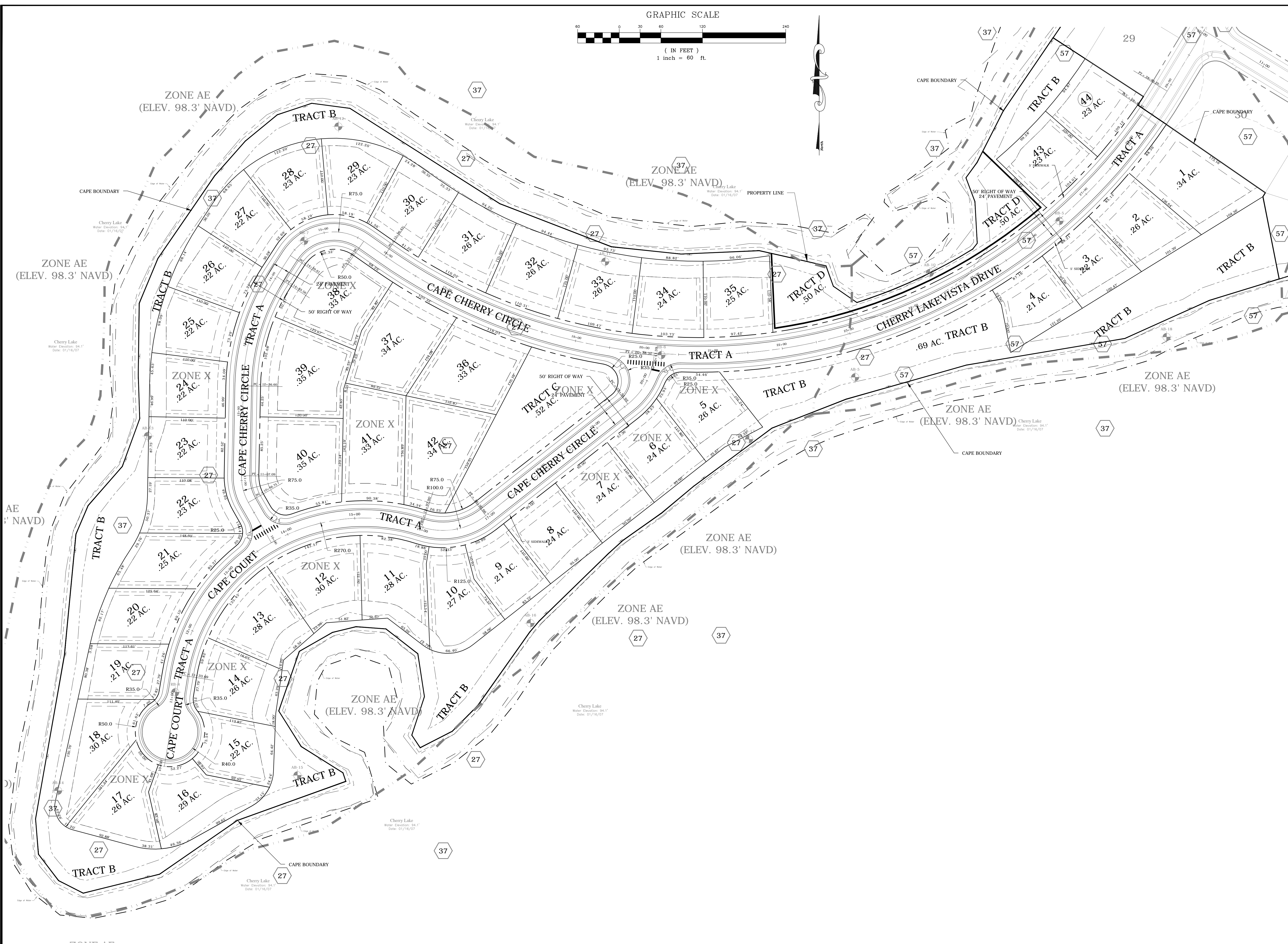
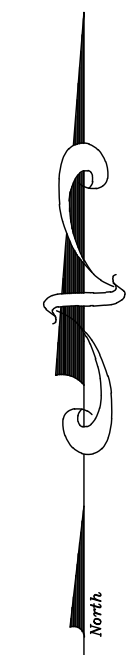
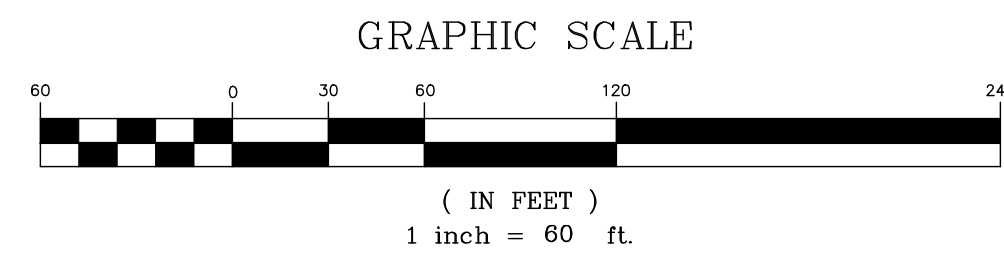
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SHEET NUMBER
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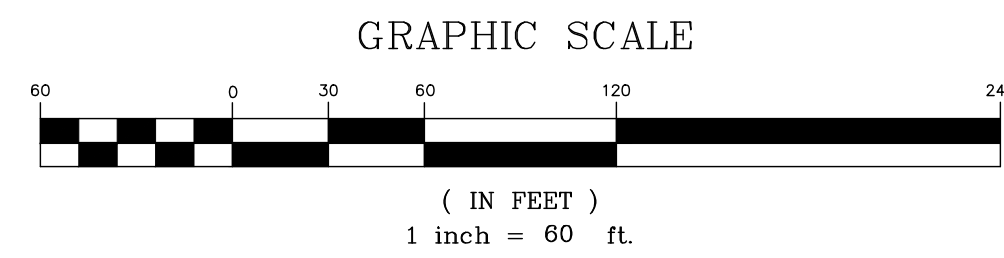
**Detailed Site
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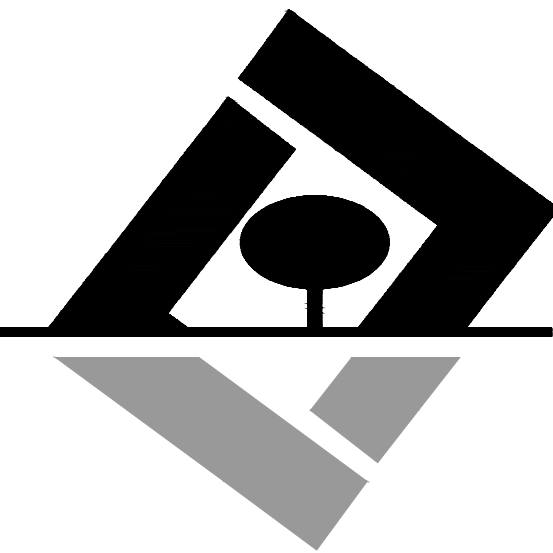
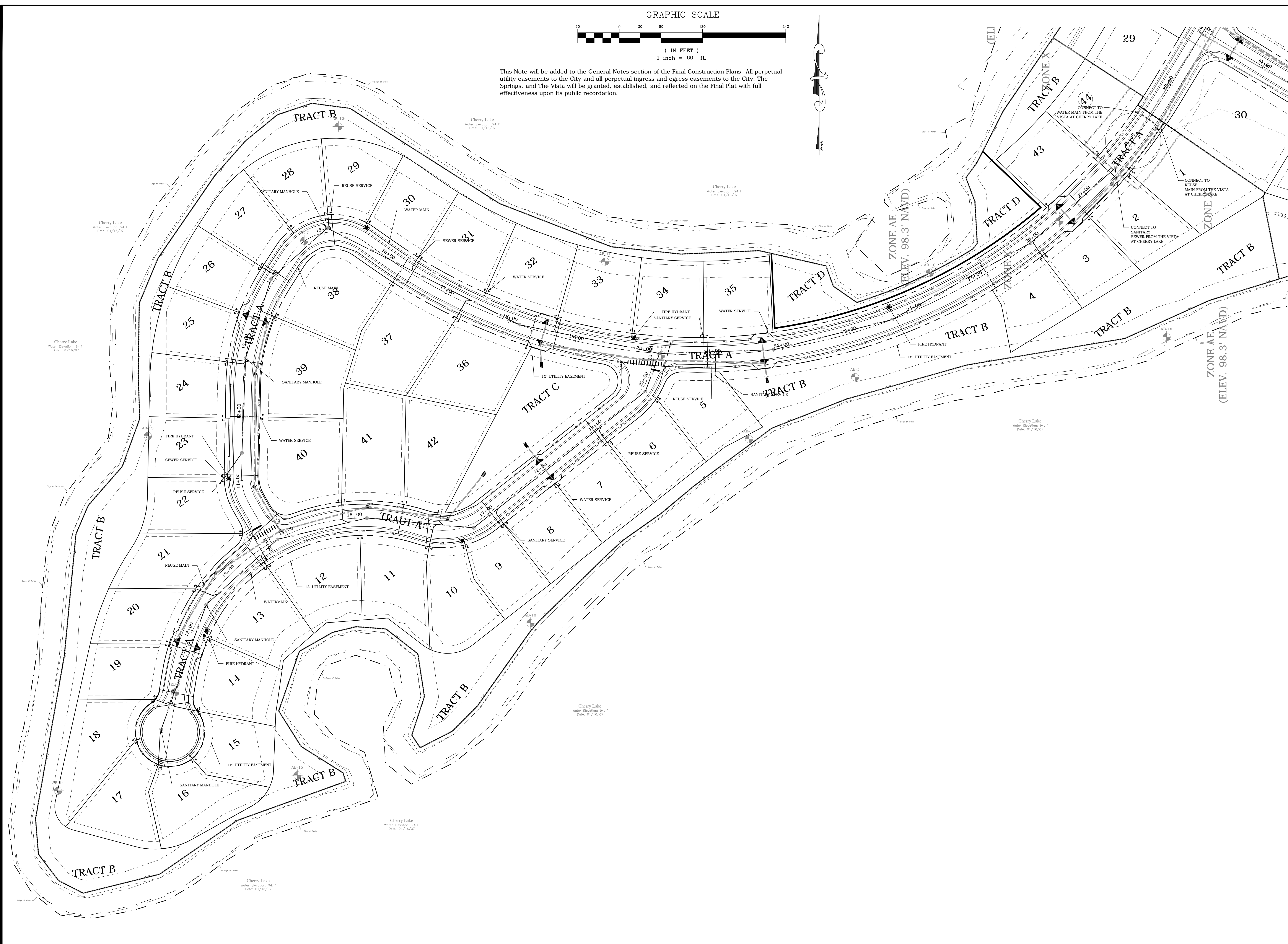
 GEOFFREY L. SUMMITT, P.E.
 Date: December 3, 2015
 FL Registration #58775
 Certificate of Authorization #296665

Revisions		
NO.	DATE	DESCRIPTION
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SHEET NUMBER
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This Note will be added to the General Notes section of the Final Construction Plans: All perpetual utility easements to the City and all perpetual ingress and egress easements to the City, The Springs, and The Vista will be granted, established, and reflected on the Final Plat with full effectiveness upon its public recordation.



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Preliminary Plat

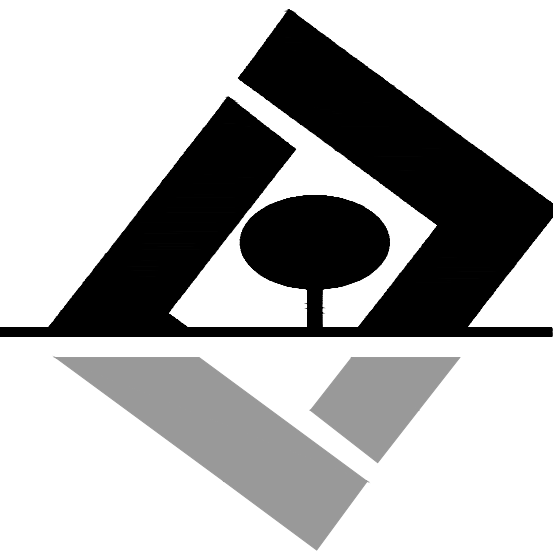
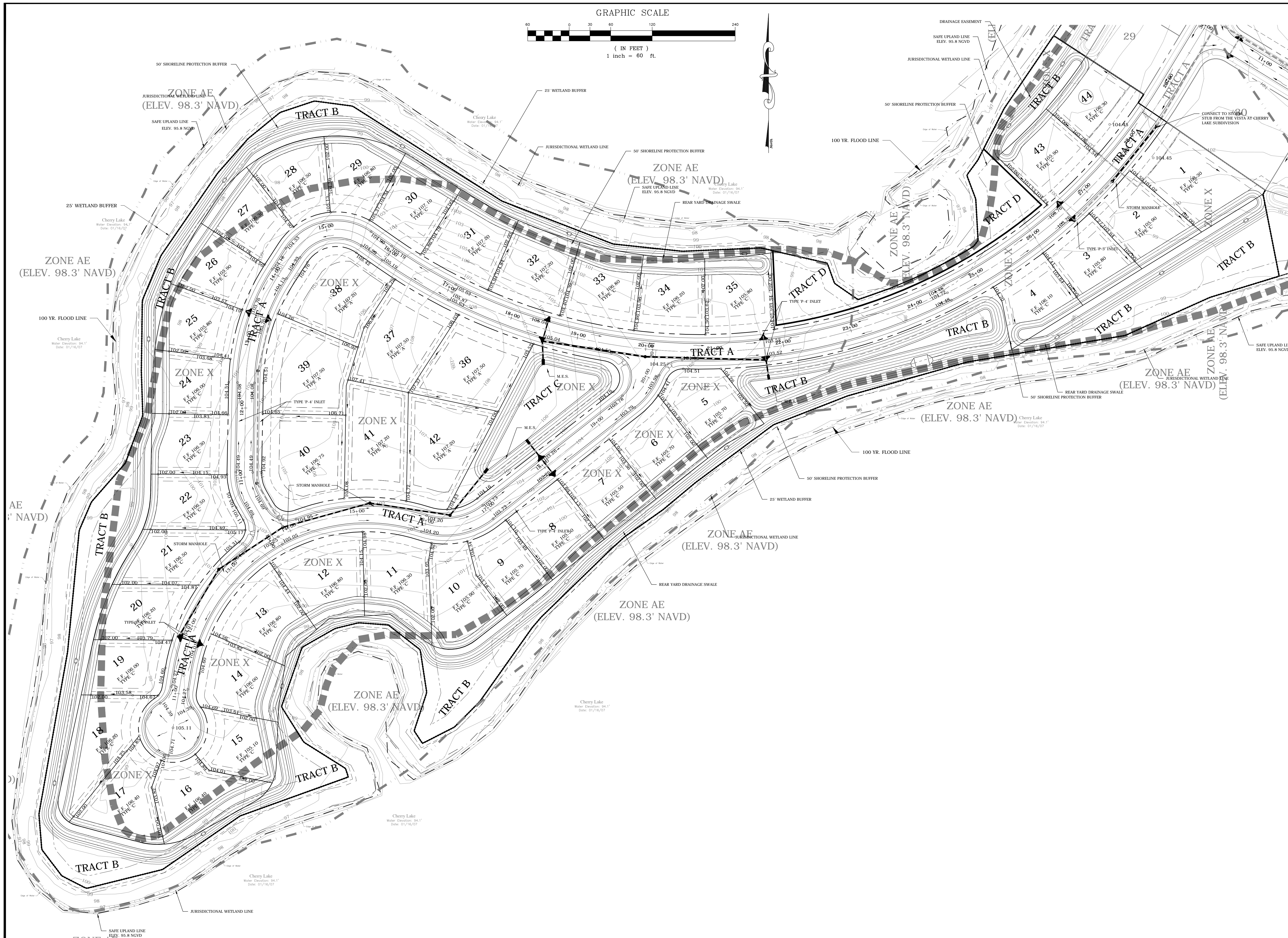
**Detailed
Utility Plan**

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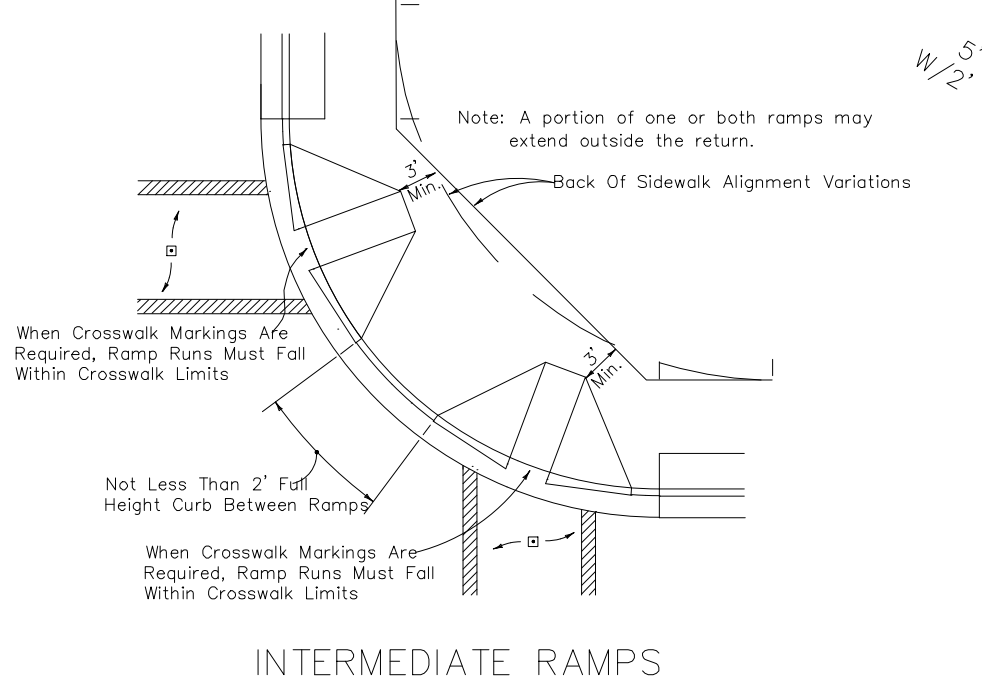
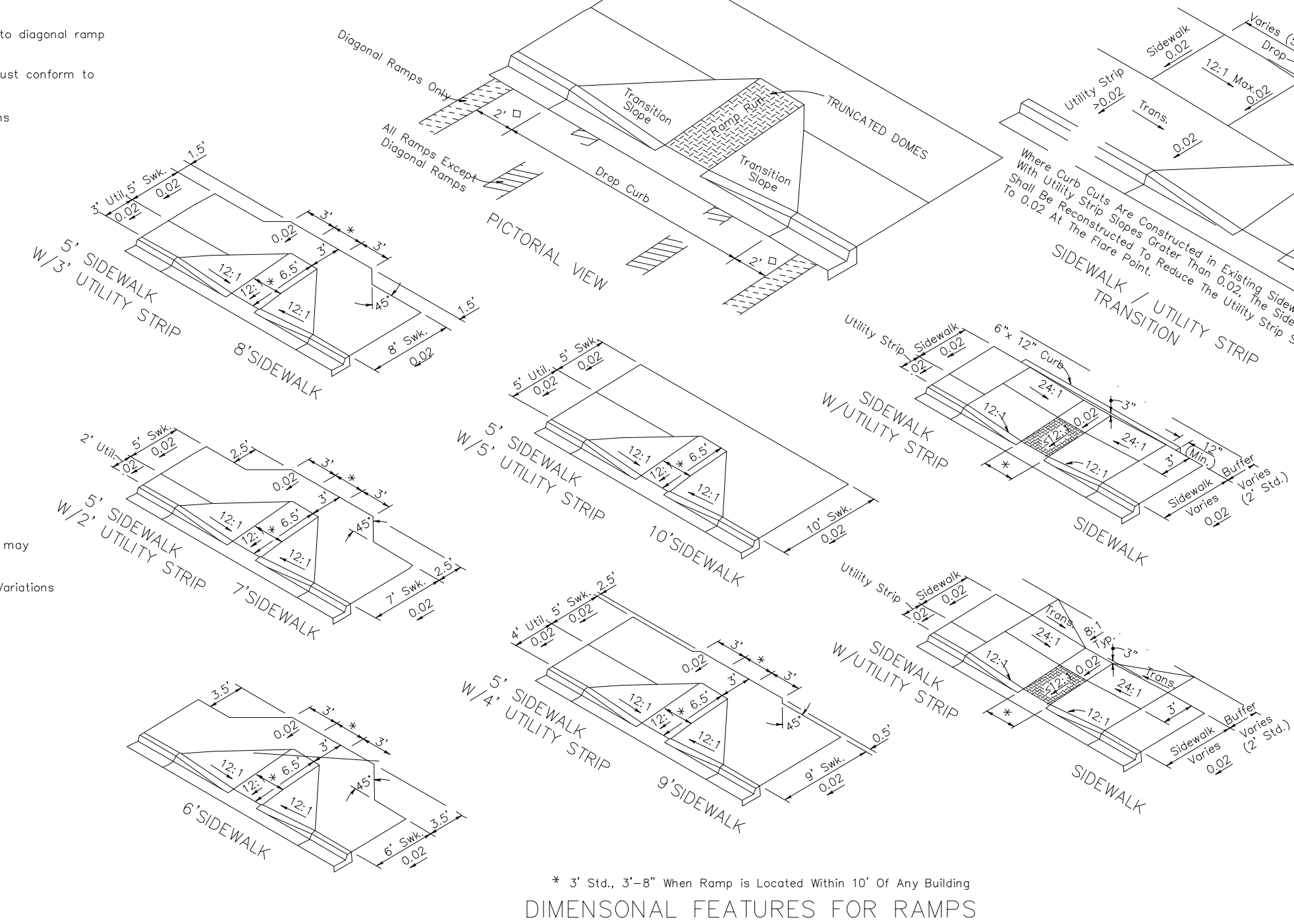
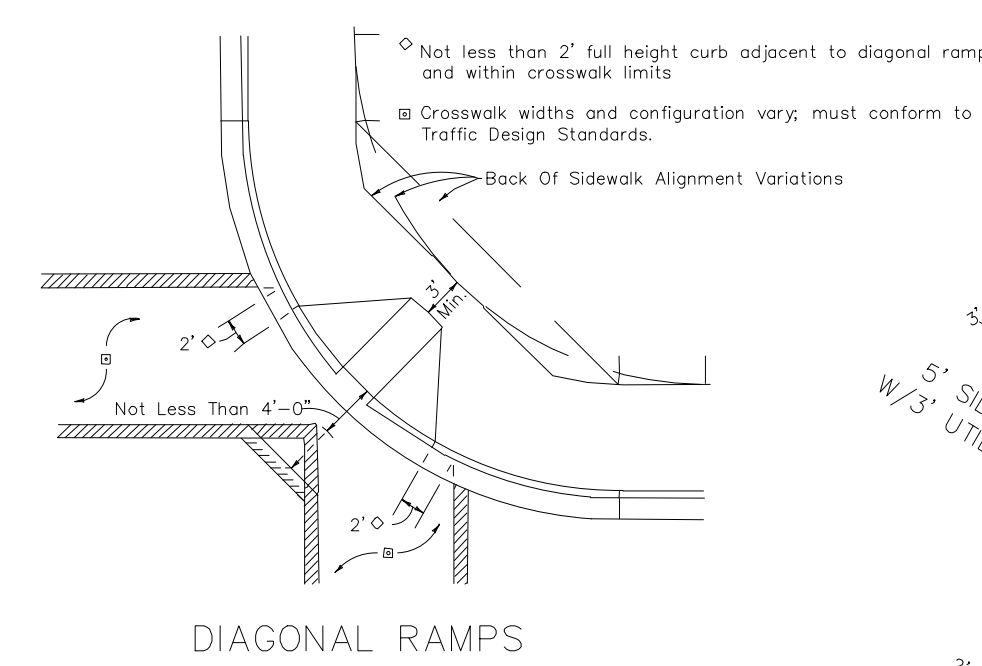
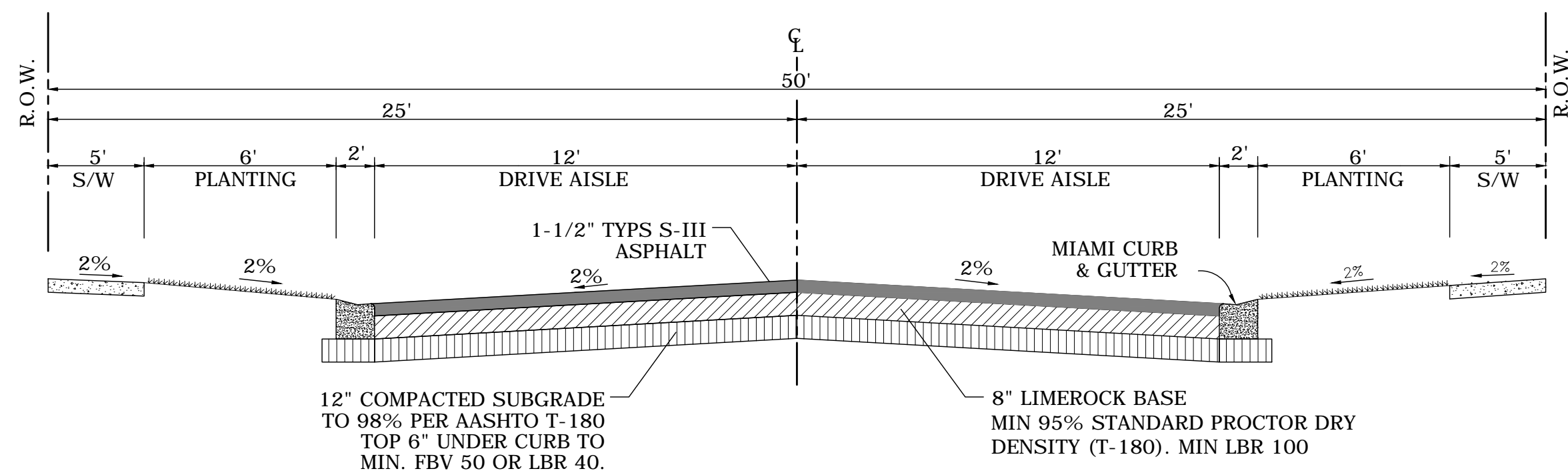
**Drainage &
 Grading Plan**

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7 OF 9

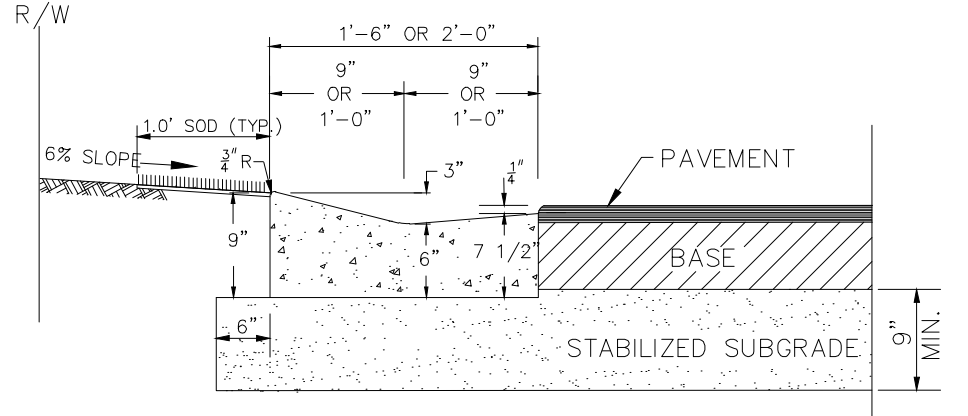
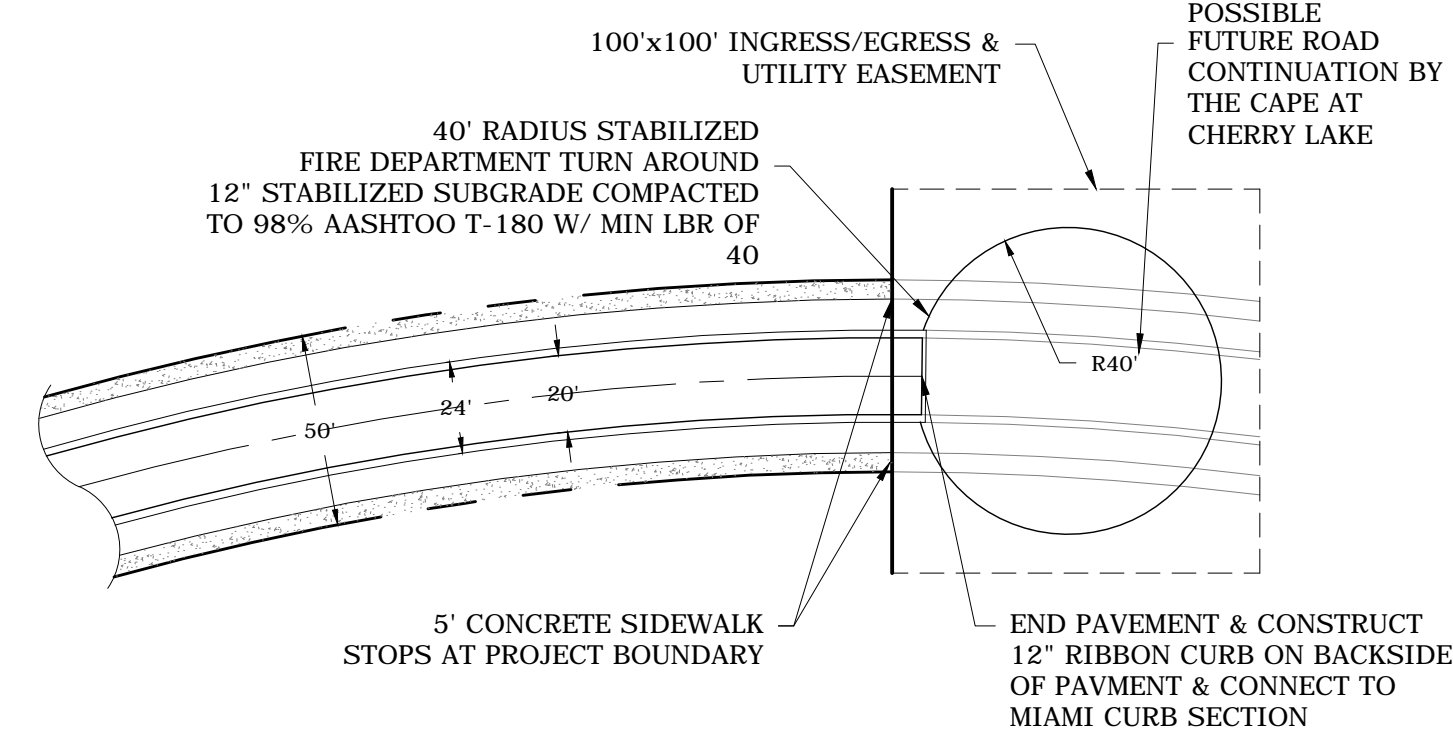


- GENERAL NOTES
- Pedestrian pathways with running slopes steeper than 20:1 are considered ramps. Ramp running slopes shall not exceed 12:1. Ramp cross slopes shall not exceed 0.02.
 - Curbed facilities with sidewalks and those without sidewalks are to have curb cut ramps constructed at all street intersections and at turnouts that have curbed returns. Partial curb returns shall extend to the limit prescribed by Index No. 315 to accommodate curb cut ramps. Ramps constructed at locations without sidewalks shall have a landing constructed at the top of each ramp. See Sheet 3 of 3.
 - The location and orientation of curb cut ramps shall be as shown in the plans.
 - If a curb cut ramp is located where pedestrians must walk across the ramp, then the walk shall have transition slopes to the ramp; the maximum slope of the transitions shall be 12:1. Curb cut ramps with returned curbs may be used where pedestrians would not normally walk across the ramp, see Sheet 2 of 3.

- GENERAL NOTES
- Ramps shall have a truncated dome surface. Ramp landings adjoining vehicular ways shall have a tactile surface 36" wide bordering the vehicular way. Tactile surfaces shall be constructed by texturing to a depth not exceeding 1/8" by use of a tamp or roller fabricated with an imprinting surface of either 1" mesh 0.250 wire cloth (plain weave, conventional crimp), #6 expanded metal (standard) or 30" expanded metal grating. Transition slopes are not to have tactile surfaces.
 - Where a curb cut ramp is constructed within existing curb, curb and gutter and/or sidewalk, the existing curb or curb and gutter shall be removed to the nearest joint beyond the drop curb or to the extent that no remaining section of curb or curb and gutter is less than 5' long. The existing sidewalk shall be removed to the nearest joint beyond the transition slope or walk around or the extent that no remaining section of sidewalk is less than 5' long.
- Ramps, reconstructed sidewalks, walk around sidewalks and landings are to be paid for under the contract unit price for Concrete Sidewalk (____), SY.
Drop curbs and reconstructed curbs are to be paid for under the contract unit price for the parent curb, i.e., Conc. Curb (Type____), LF, or Conc. Curb and Gutter (Type____), LF.
When a separate pay item for the removal and disposal of existing curb, curb and gutter, and/or sidewalk is not provided in the plans, the cost of removal and disposal of these features shall be included in the contract unit price for new curb, curb and gutter and/or sidewalk respectively.

802 CURB CUT RAMPS FOR LINEAR PEDESTRIAN TRAFFIC
N.T.S.

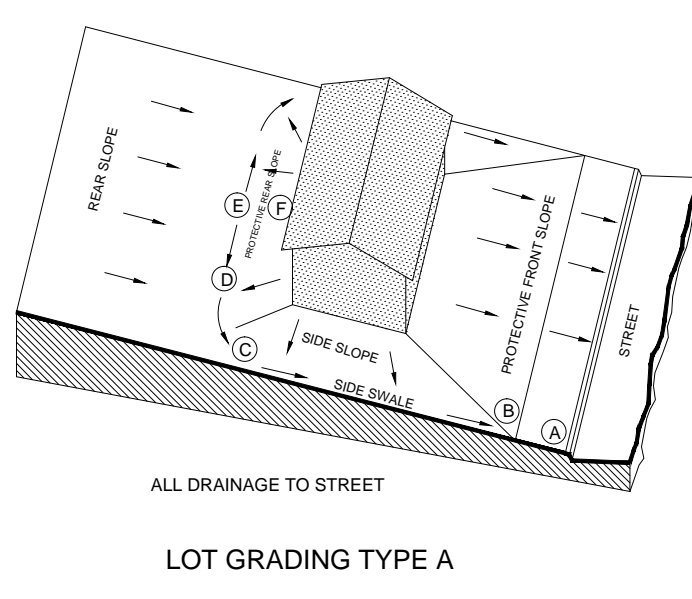
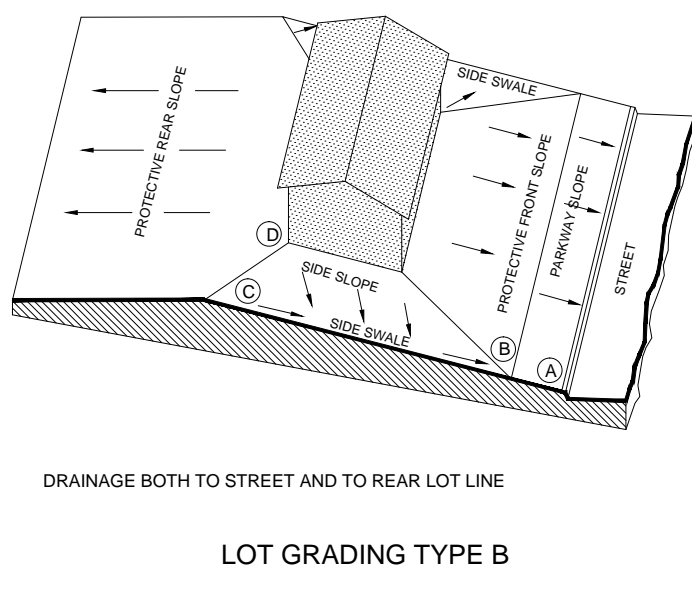
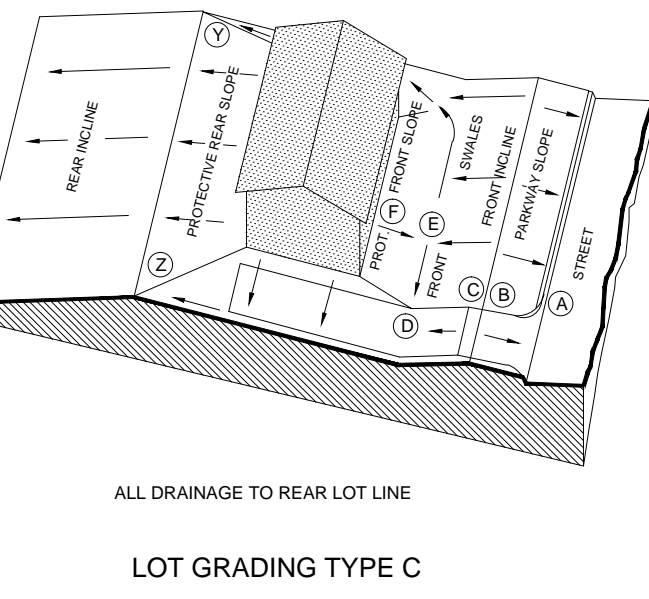
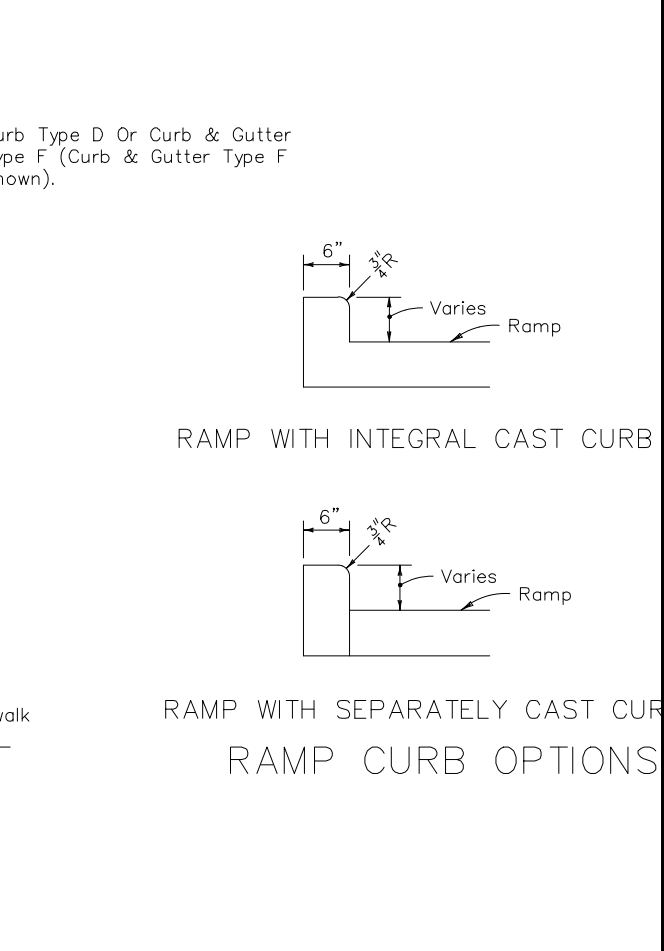
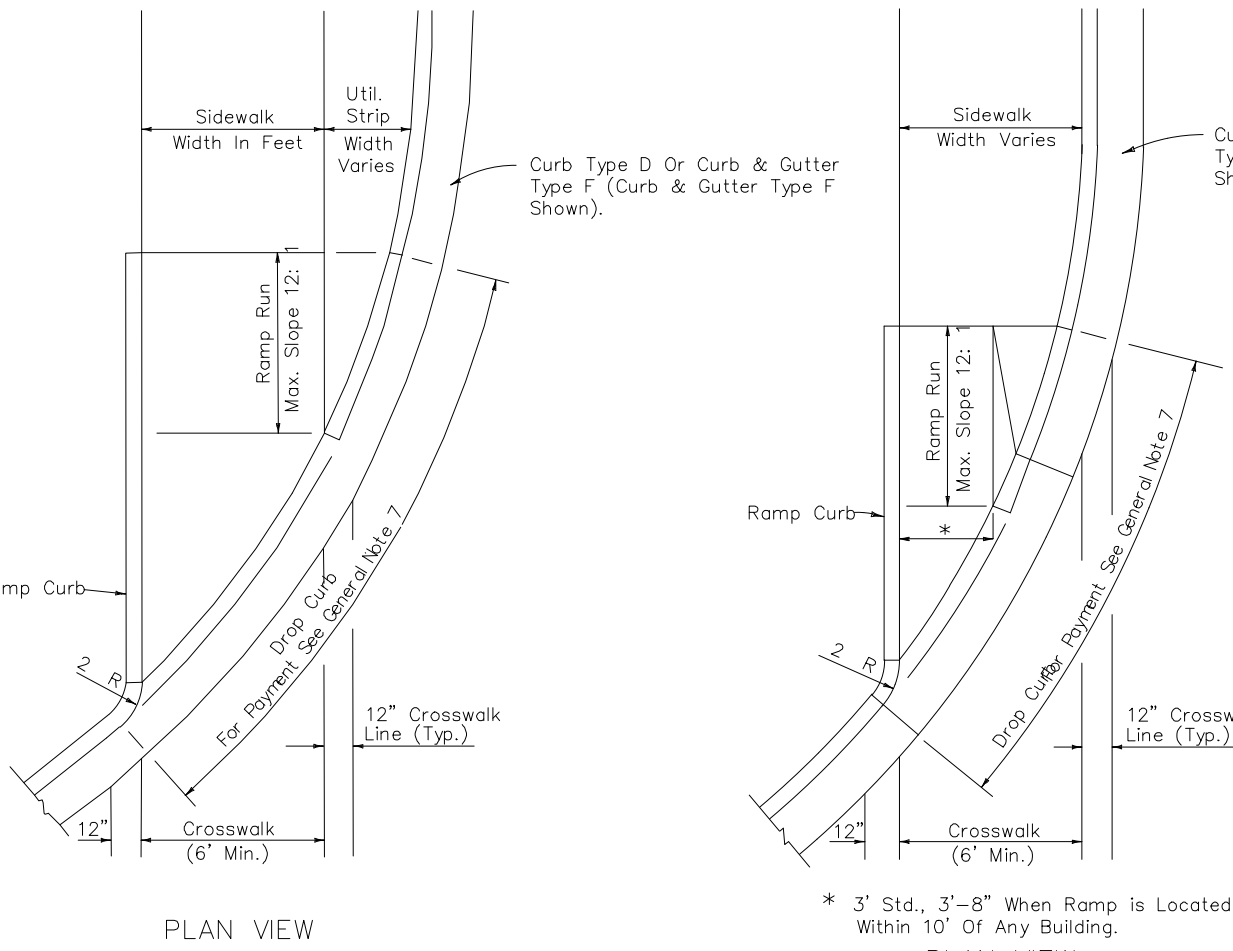
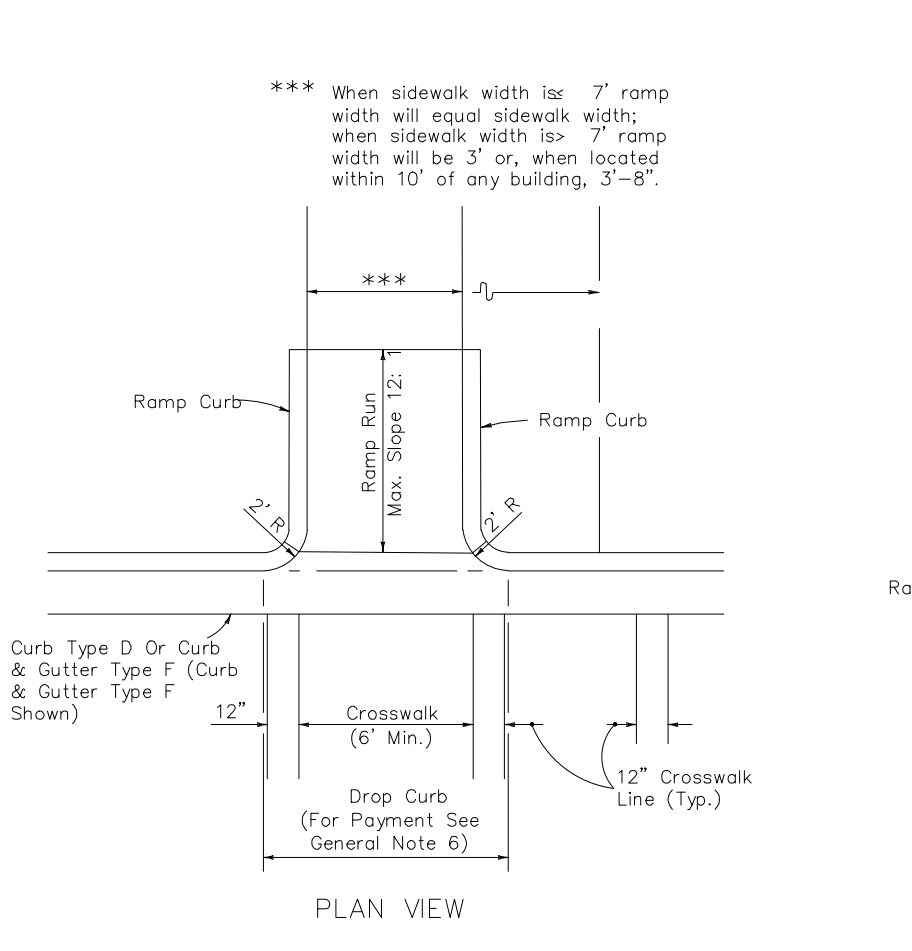
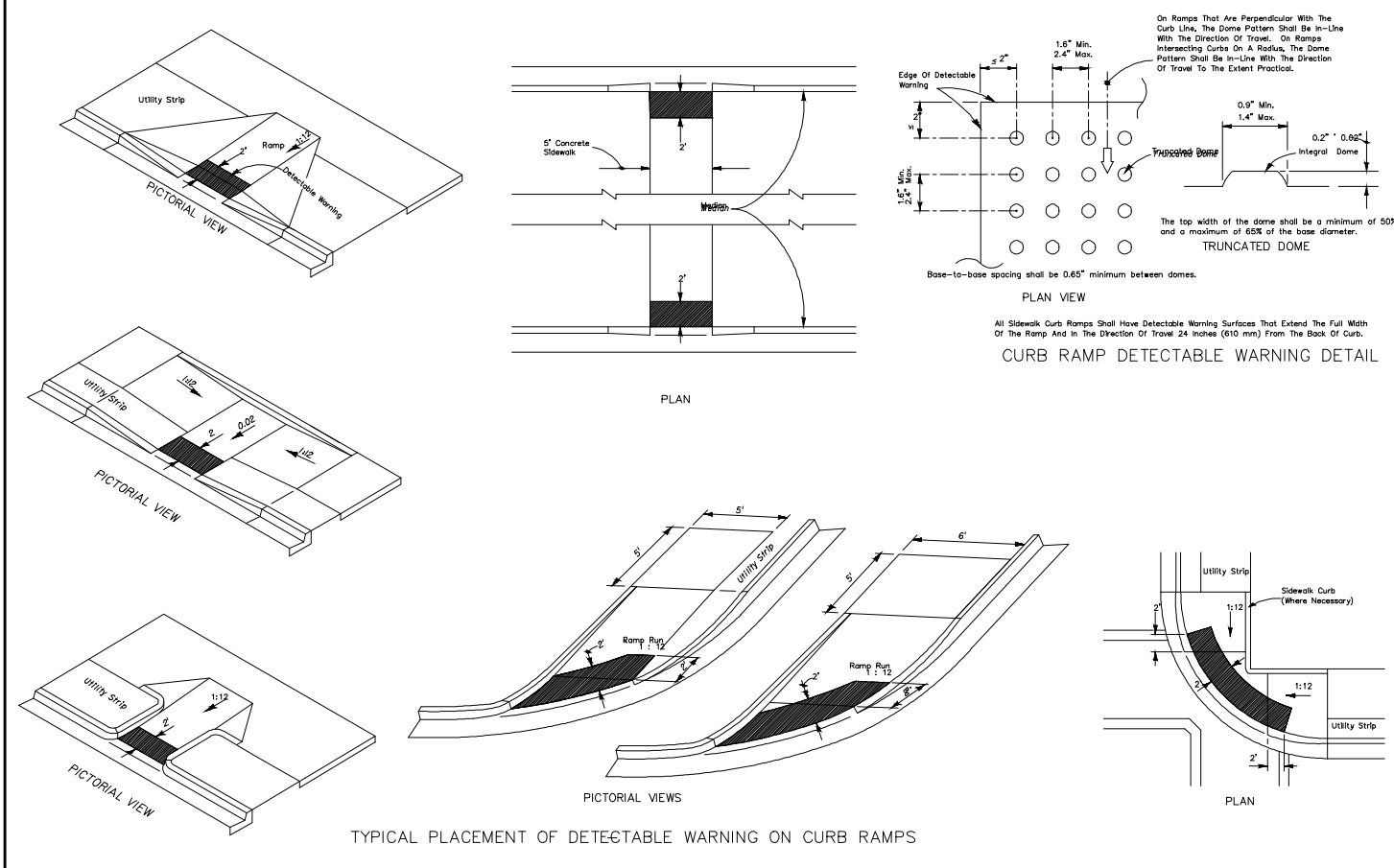
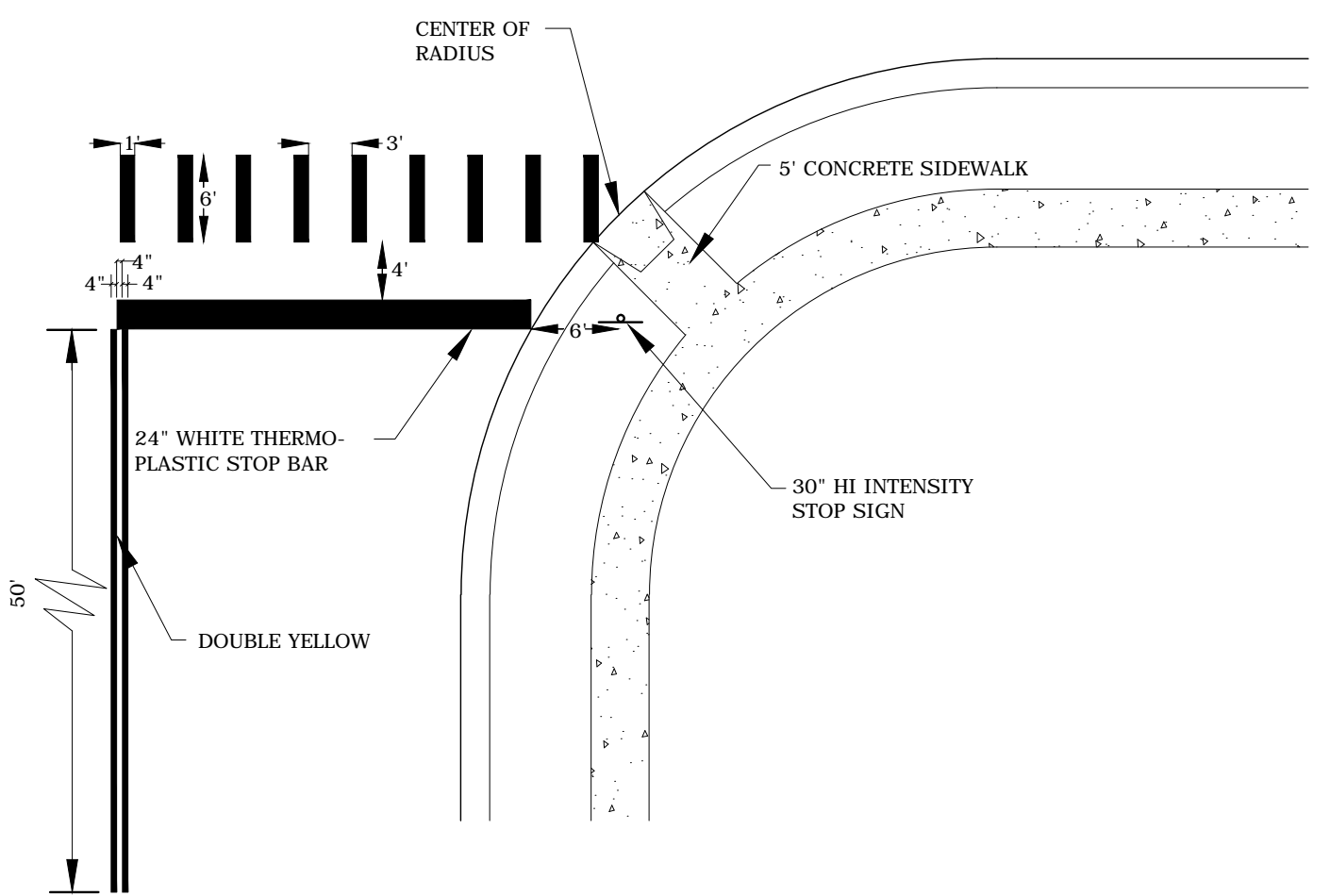
CURB CUT RAMPS
1 of 3 304



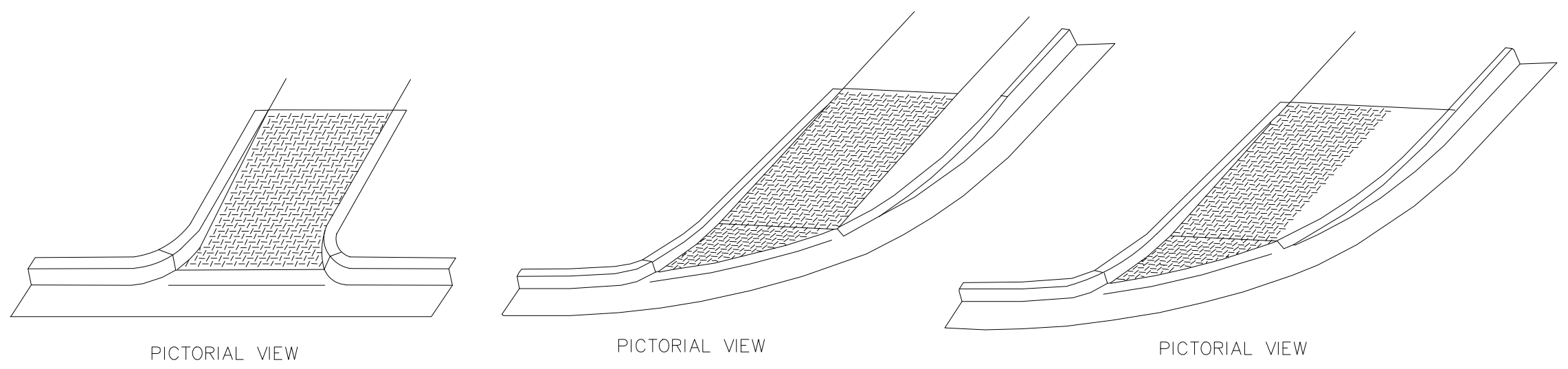
800 CURB CUT RAMPS FOR LINEAR PEDESTRIAN TRAFFIC
N.T.S.

802 CURB CUT RAMPS FOR LINEAR PEDESTRIAN TRAFFIC
N.T.S.

CURB CUT RAMPS
1 of 3 304

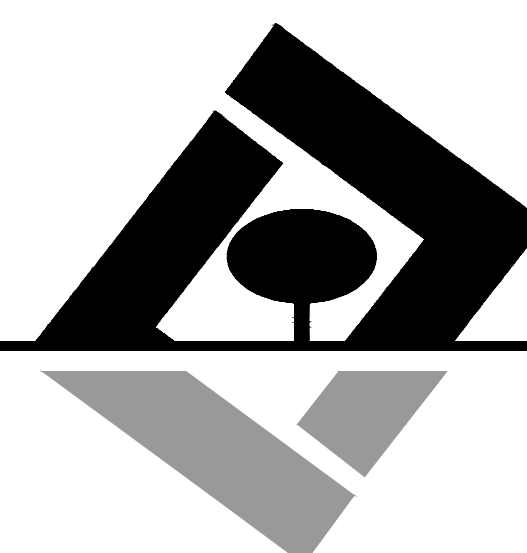


804 FHA LOT GRADING TYPES
N.T.S.



805 CURB CUT RAMPS FOR LINEAR PEDESTRIAN TRAFFIC
N.T.S.

CURB CUT RAMPS
2 of 3 304



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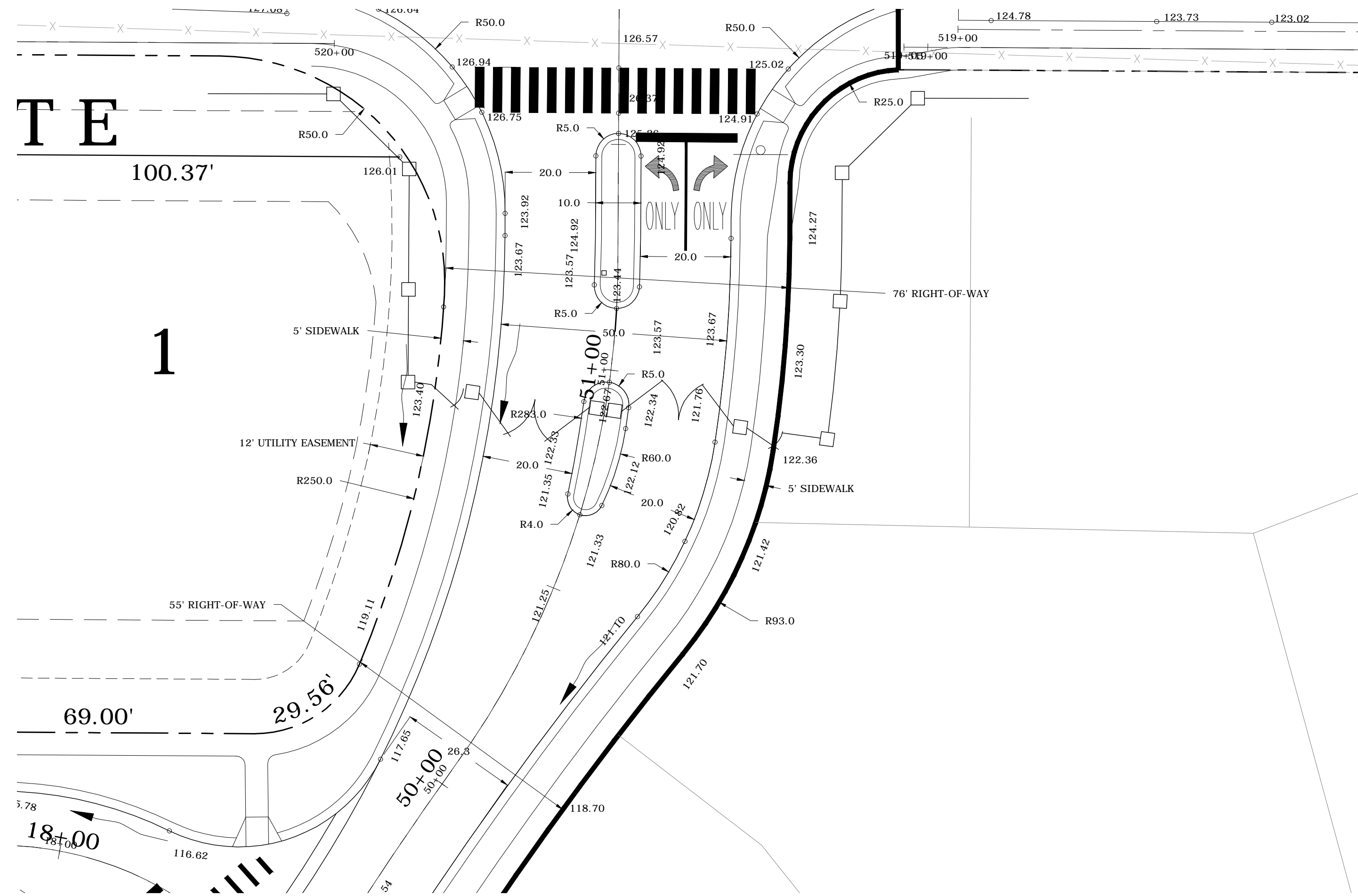
General
Details

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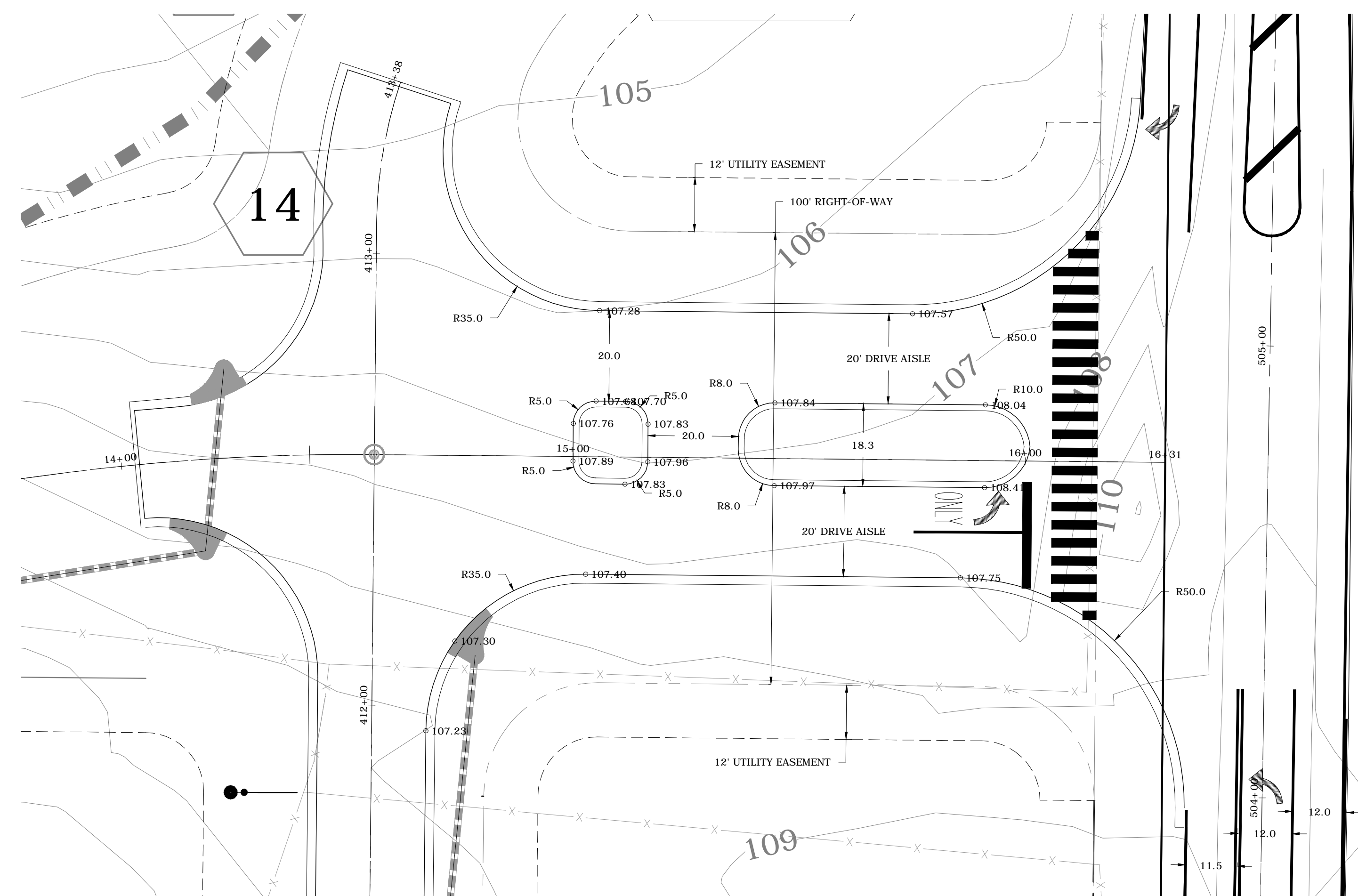
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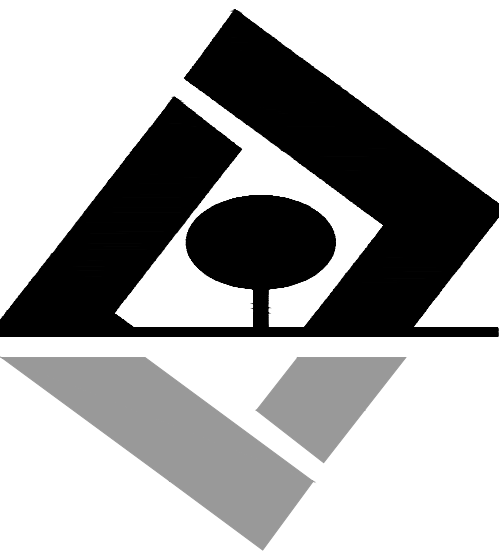
SHEET NUMBER
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600 NORTH ENTRANCE ROAD GEOMETRY DETAIL
1" = 20'



601 EAST ENTRANCE ROAD GEOMETRY DETAIL
1" = 20'



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